DEVELOPMENT DATA

		BGZ3K						
LOCALITY / S		RIVERWOOD, PEAKHURST						
STREET ADD		7-9 Brighton Road & 21 Charles Street						
DEPOSITED I		Lots 14 & 15 in DP 35818 and Lot 10 in DP 1080361 (nt purposes only)						
SITE AREA (s	sqm)	1926.1 m2 – sourced from Survey						
NUMBER OF	EXISTING LOTS	3						
PROPOSED (GFA (sqm)	1121						
NUMBER OF	DWELLINGS	14						
DWELLINGS		UNIT NO.	ТҮРЕ	NO. OF BEDROOMS	Internal Area	POS required	POS proposed	
					sqm	sqm	sqm	
		1	Ground	1	56	15	25	
		2	Ground	2	73+ec*	15	36	
		3	Ground	2	74+ec*	15	25	
		4	Ground	1	55	15	18	
		5	Ground	2	77	15	36	
		6	Ground	2	74+ec*	15	25	
		7	Ground	1	54	15	17	
		8	Level 1	1	56	8	8	
		9	Level 1	2	73+ec*	10	10	
		10	Level 1 Level 1	2	74+ec*	10 8	11 10	
		11	Level 1	2	55 77	8	10	
		12	Level 1	2	74+ec*	10	12	
		14	Level 1	1	56	8	8	
		LOBBY LG	Ground Lov	ver	33			
		LOBBY UG	Ground Up	per	23			
		LOBBY L1	Level 1 Lov		28			
		LOBBY U1	Level 1 Upp	Der	24			
		TOTAL		1	1036			
		CONTROL		REQUIREME	NT	PROPOSED		
BUILDING HE	EIGHT	Housing SEF		9.5m		9m at highes	t point	
		GRLEP 2021						
PARKING	General	Housing SEF (part 18 & 42)	Ϋ́	1B - 0.4 carpa 2B - 0.5 carsp		7 carspaces		
	3.8m width	Housing SEF	P	10% of total ca	arspaces	1 carspace ir	ז ז	
	Accessible	Housing SEF	Р	1 in 5 units		3 carspaces	in 7	
FSR		Housing SEF	РР	0.5:1		0.58:1		
		GRLEP 2021		0.55:1				
FRONT SETB	BACK	Housing SEF	P	generally inline	e with existing	4.5m		
		GRDCP Part	6.2.4 MDH	4.5m to main f 5.5m to front c wall/ secondar	of parking	4.5m Charles 5.8m Brighto		
SIDE SETBA	CKS	GRDCP Part	6.2.4 MDH	4m FOR MDH		7.2m		
REAR SETBA		GRDCP Part 6.2.4 MDH GRDCP Part 6.2.4 MDH		6m		8.7m		
DEEP SOIL Z		Housing SEF		15% OF SITE AREA. (288.92m ²)		457m ²		
LANDSCAPE		Housing SEF	р	65% at rear (187.8m ²) min. 3m DIMENSION 35 sqm PER DWELLING		192m ² yes 670m ²		
				(490m ²)				
	PLIANCE	Housing SEF	P	70% of dwellir hours sunlight 9am and 3pm	between in mid-Winter			
				i. Living Room ii. Private oper		70% / 10 uni 70% / 10 uni		
SOLAR COM	lopment data for L/ Requirements	AHC new hous	ing supply. F	ii. Private oper	n space	70% / 10 uni		
SOLAR COM	Requirements	AHC new hous	ing supply. F	ii. Private oper	n space	70% / 10 uni		
SOLAR COM LAHC* - Deve LAHC Design EC* - Entry Co AREA* - Dwel	Requirements	des internal wa	alls but exclud	ii. Private oper	n space o current versi	70% / 10 uni		

Solar Orientation* - % with min. 3 hours of direct sunlight into living areas and private open space

NATHERS

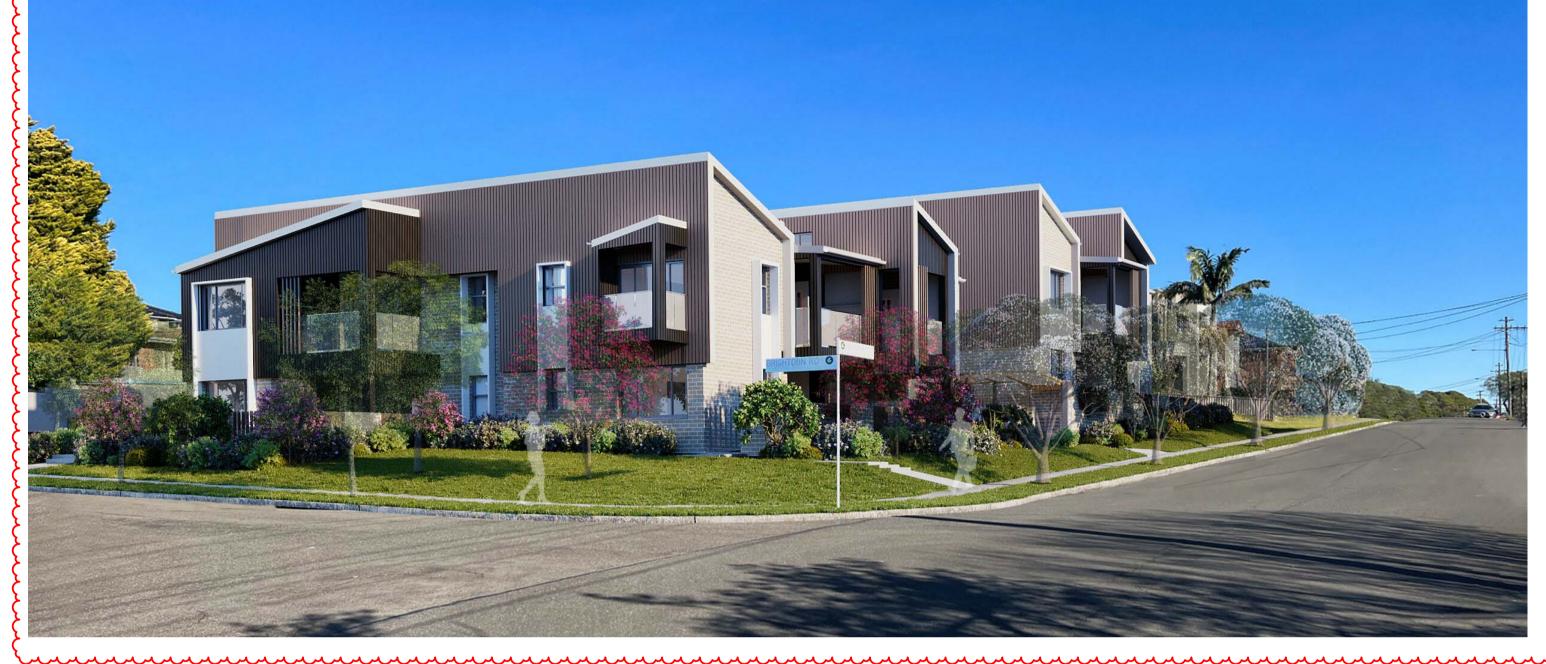
	NCC 2022 NatHERS T	hermal Performance Specificat	tion - Riverwood	
		External Walls		
Wall Type	Insulation	Colour	Comments	
Cavity Brick	R1.7	Med - SA 0.475 - 0.70	As per the elevations	
Metal cladding	R2.5	Med - SA 0.475 - 0.70	As per the elevations	
		SA - Solar Absorptance		
		Internal Walls		
Wall Type	Insulation		Comments	
Single skin brick	None		Internally inside units	
Cavity brick, plasterboard	None		Party walls between units	
Cavity brick, plasterboard	None		Shared walls with lobby/stairs/lift	
		Floors		
Floor Type	Insulation		Comments	
Concrete slab on ground	None		Ground floor units	
Concrete	None		All units with adjoining unit below	
		Ceilings		
Ceiling Type	Insulation		Comments	
Plasterboard	None		Unit above	
Plasterboard	R3.5	Level 1 units		
Insulation loss due to downlights has	been modelled in this assessr	nent. A sealed exhaust fan has t	been included in every kitchen, bathroom, laundry and ensuite.	
		Roof		
Roof Type	Insulation	Colour	Comments	
Metal	R1.3 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (unvented roof space)	
		SA - Solar Absorptance		
		Glazing		
Opening type	U-Value	SHGC	Glazing & Frame Type	
Sliding + Fixed + Double hung (Throughout)	4.8	0.59	e.g. Single glazed high performing low-e clear Aluminium frame	
Awning (Throughout)	4.8	0.51	e.g. Single glazed high performing low-e clear Aluminium frame	
U and SHGC values are based on the AFRC De	fault Windows Set. Glazing sys	tems to be installed must have a values.	an equal or lower U value and a SHGC value \pm 10% of the above specified	
		Skylights		
Skylight Type	Fran	пе Туре	Comments	
na		na	na	
		Ceiling fan		
Size	Lo	cation	Comments	
1200mm in diameter	All bedrooms + Living na			

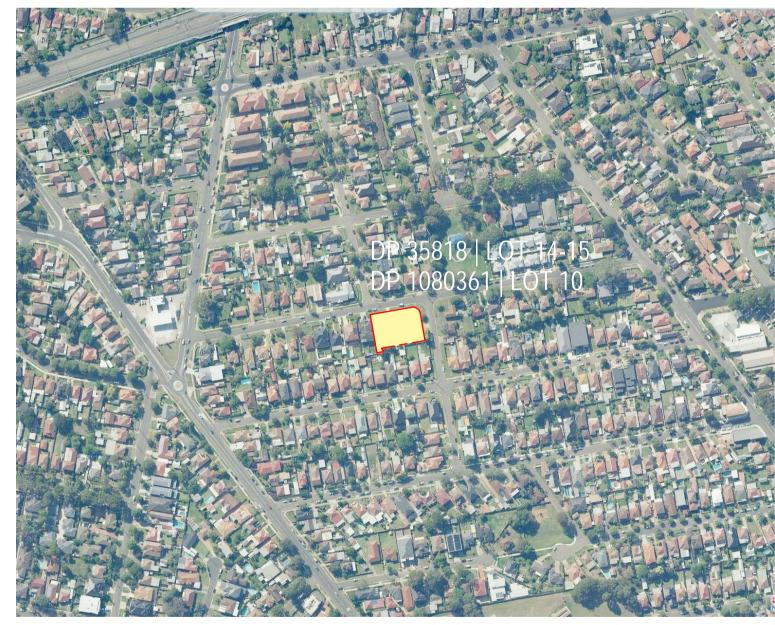
BASIX Commitments Summary

WATER	
Rainwater Tank	6000L central tank
Rainwater-Re-use	Rainwater used for garden irrigation on common landscaped area
Star Rating	4 star toilet suite, 6 star taps throughout, 4 star showerheads with flowrate >4.5 but <=6L/min
Planting	Indigenous or low water use species of vegetation min 242m ²
ENERGY	
Lighting	Provide dedicated energy efficient lighting (fluoros, compact fluoros & LEDs) throughout
Ceiling Fans	Ceiling fans required in each living room and at least one bedroom
Appliances	Electric cooktop & electric oven, well ventilated fridge space
Mechanical Ventilation	Bathroom/ Kitchen/ Laundry - individual fan, ducted to facade or roof. Manual switch on/ off
Clothes Lines	Provide sheltered clothesline
Lift	Gearless Traction with V V V F motor. LED light connected to lift call button
Hot Water System	Electric Heat Pump, 21 to 25 STCs
Alternative Energy Source	Photovolatic System - rated electrical output min 18.6 peak kW



SENIORS HOUSING DEVELOPMENT 7-9 Brighton Road Peakhurst, **21 Charles Street Rivervo**





SITE

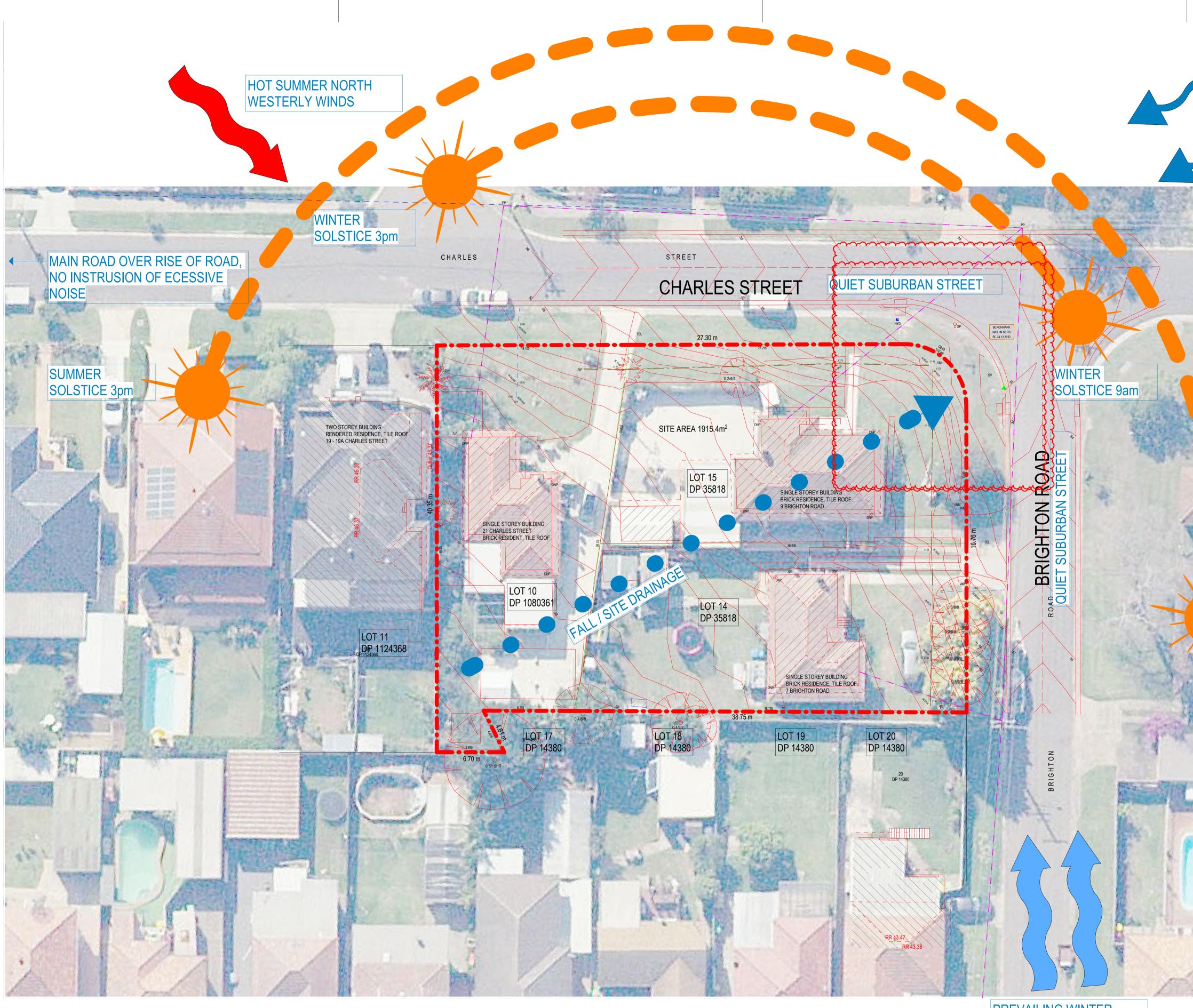


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DRAWING LIST

A000	COVER PAGE & DRAWING LIST	Н	16-01-24
A101	SITE ANALYSIS	D	20-10-23
A102	Context block analysis	Е	20-10-23
A103	PATH TO BUS STOP STUDY - BONDS Rd	Е	20-10-23
A104	PATH TO BUS STOP STUDY - BROADARROW Rd	С	20-10-23
A105	DEMOLITION PLAN	G	20-10-23
A106	CUT AND FILL PLAN	D	20-10-23
A107	SEDIMENT EROSION & CONTROL PLAN	В	20-10-23
A108	excavation calculations	В	20-10-23
A109	PERSPECTIVE SKETCH VIEWS	А	20-10-23
A200	SITE PLAN	J	20-10-23
A201	GROUND FLOOR PLAN		20-10-23
A202	FIRST FLOOR PLAN	1	20-10-23
A203	ROOF PLAN	1	20-10-23
A301	ELEVATIONS NORTH, SOUTH	J	20-10-23
A302	ELEVATIONS EAST, WEST & MATERIAL SCHEDULE	J	20-10-23
A305	SECTIONS - Long	G	20-10-23
A306	SECTIONS - Short	G	20-10-23
A800	VIEW FROM THE SUN STUDY	D	20-10-23
A901	SHADOW DIAGRAMS - WINTER 9AM	С	20-10-23
A902	Shadow diagrams - winter 12pm	С	20-10-23
A903	SHADOW DIAGRAMS - WINTER 3pm	С	20-10-23





1 SITE ANALYSIS 1:200

v Date AMENDEMENTS Ckd LEGEND 09-12-22 Stage B 10-02-23 Prelim Part 5 Update 06-04-23 Part C Issue 20-10-23 PART 5 UPDATE

PREVAILING WINTER COLD WINDS



CLIENT



PREVAILING SUMMER COOLING SUMMER BREEZES

SUMMER SOLSTICE 9am

SARM Architects Suite 4, 7 Ridge Street North Sydney NSW 2060 p +61 2 9922 279 f +61 2 9922 275

e architects@sarm.com

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Robert McNam

Stephen Arlo

reg. no. 764

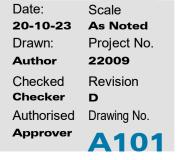
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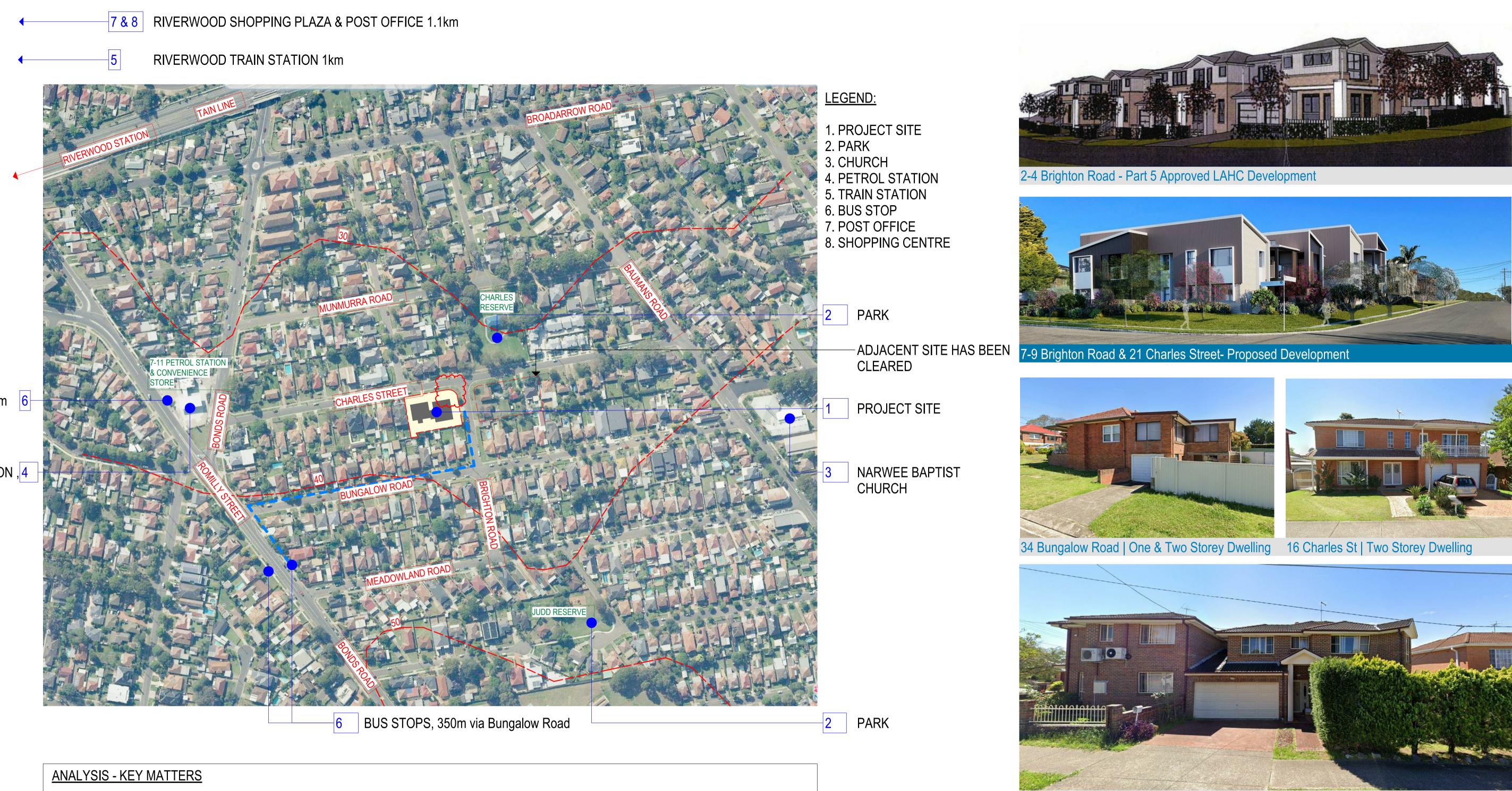


Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080 Sheet Title SITE ANALYSIS

Date:

Drawn: Author Checked Revision Checker D Authorised Drawing No.





Predominant Block and Lot Patterns Rectangular - North to South.

Block and lot pattern change over time

Some clusters of 3 or 4 blocks amalgamated to form low rise Unit developments, of a similar boundary to the proposed. Some blocks divided for duplex dwellings

Typical Lot Size, Shape, Orientation

Rectangular, long and thin. North to South. Rear or Front of house facing North. Rough average of 700m2 Lot size

Which Lots better for Intensification and which are not

As the lots are symmetrical, boundaries can easily be combined into larger rectangle to be emalgimated into unit/ town house development. Whilst a corner emalgimation is practical as two street frontages can be utilised, it's not necessary in this area. Other lots have been emalgimated in this area that are not on corner lots. Albeit the corner lots have more benefits for occupant privacy, district views, driveway access.



PETROL STATION, 4 230m

Date AMENDEMENTS Ckd LEGEND

09-12-22 Stage B 10-02-23 Prelim Part 5 Update

06-04-23 Part C Issue

16-05-23 Part C Issue

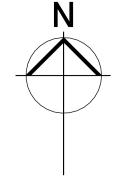
20-10-23 PART 5 UPDATE

Is amalgamation necessary to support future development.

As existing Lot sizes can be broken up for duplexes/ townhouses, amalgamation is required for densification for low rise unit and townhouse developments.

Are better Corner Sites Available The proposed site is the most appropriate site for this development. It is on the high side of the street allowing for district views, Northerly aspect, close to neighbourhood park.







14 Charles St | Two Storey Duplex

19 & 19A Charles St | Two Storey Duplex

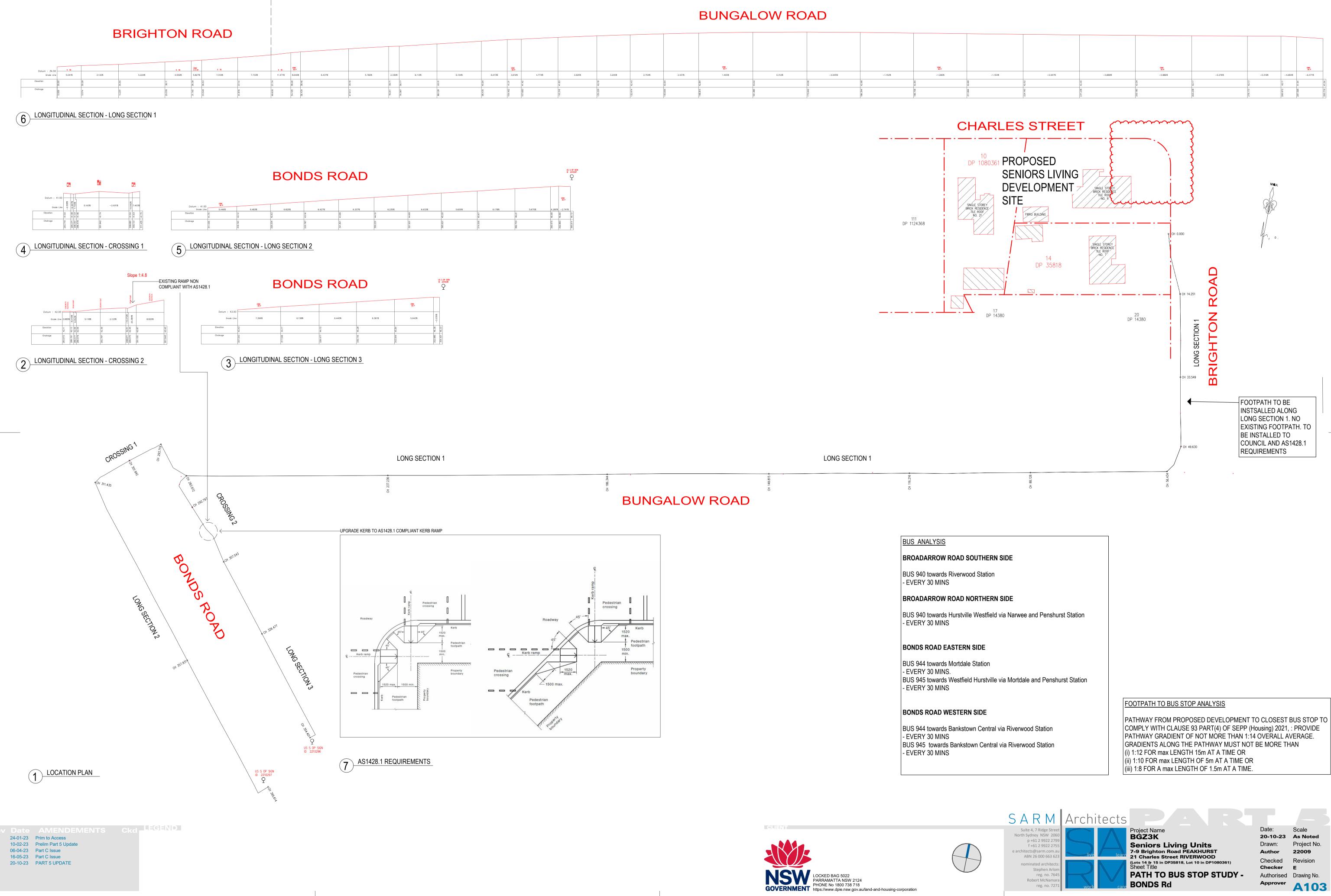
17 Charles St | Two Storey Dwelling



Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP10803 Sheet Title CONTEXT BLOCK ANALYSIS

Date: 20-10-23 As Noted Drawn: Author Checked Checker Authorised Drawing No. Approver

Scale Project No. 22009 Revision E A102







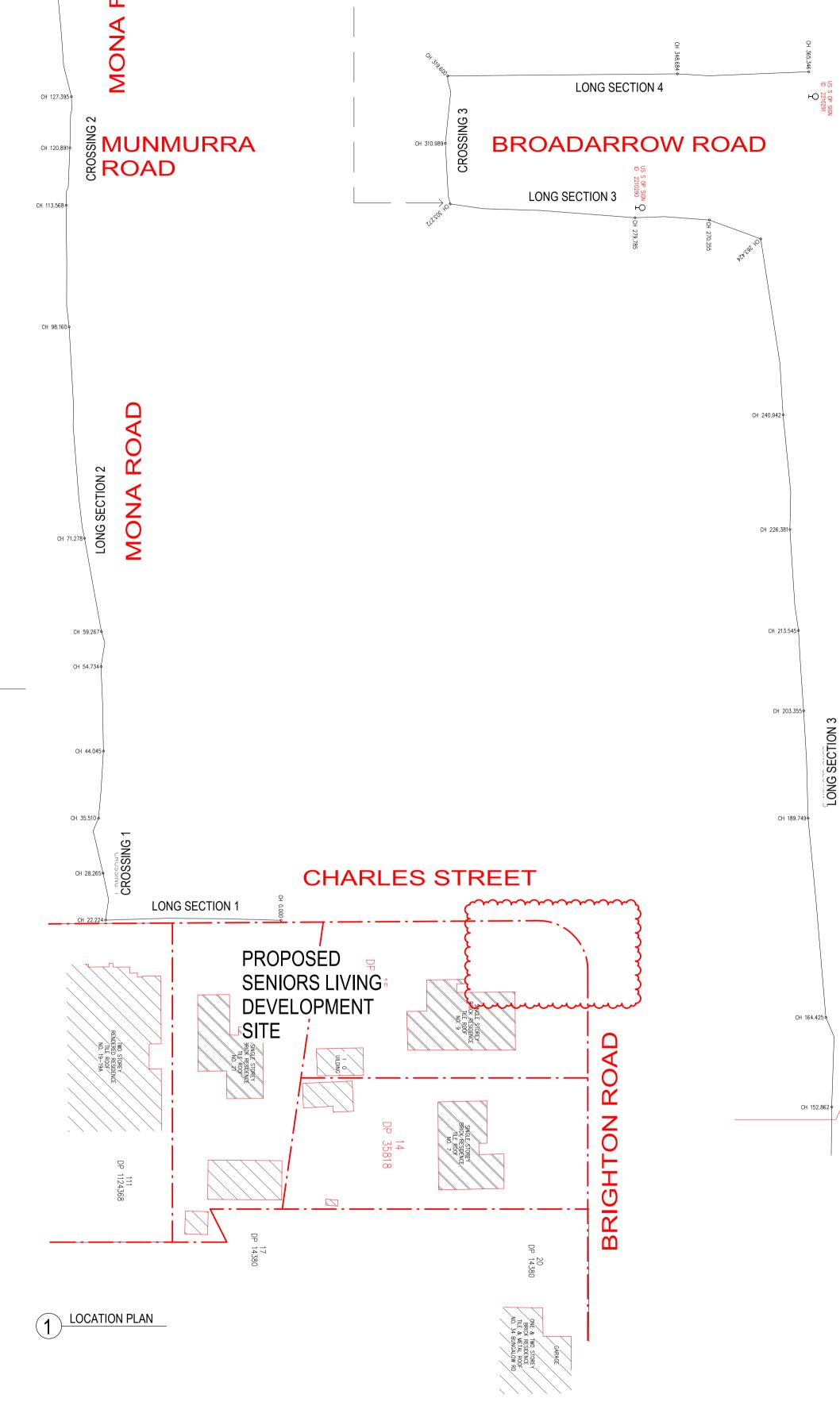


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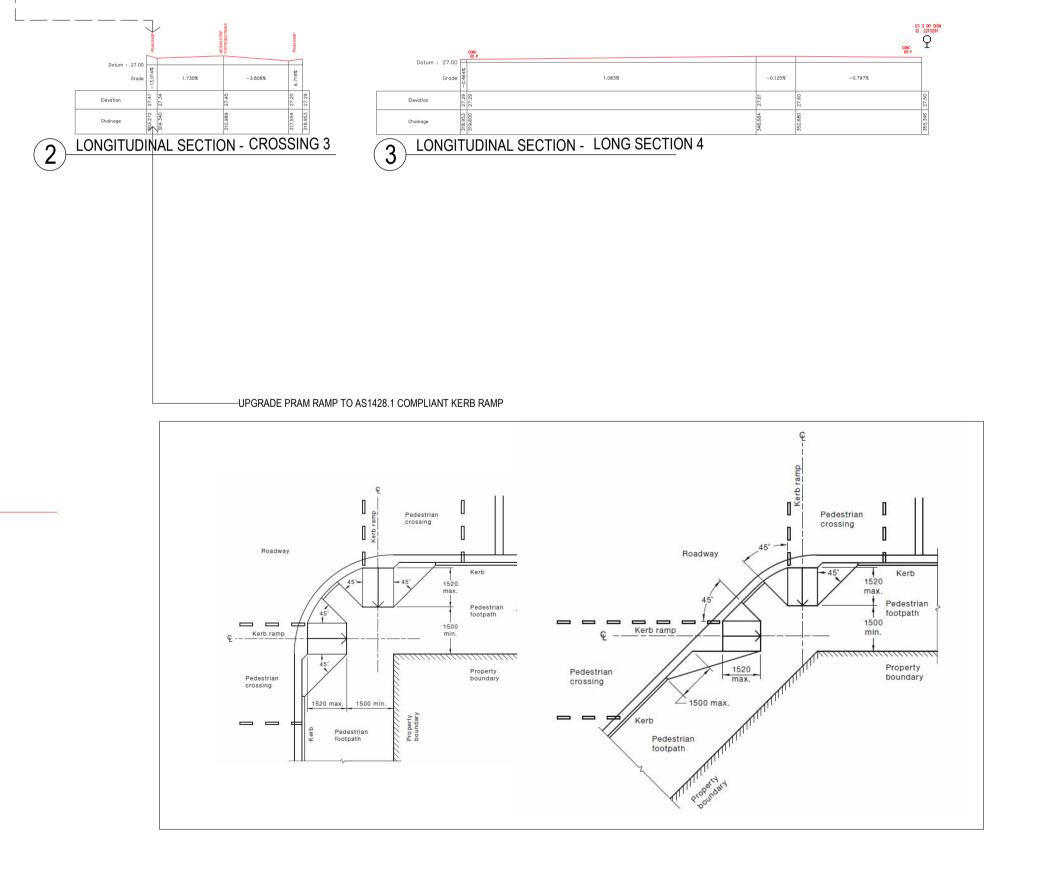
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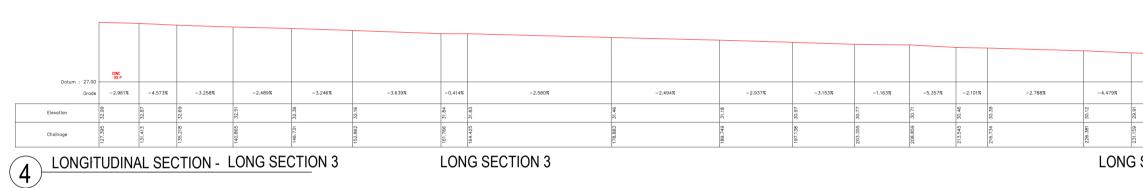
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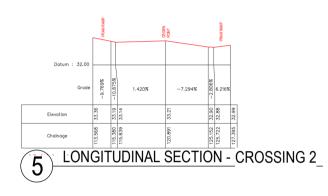
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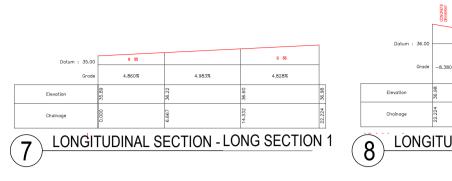


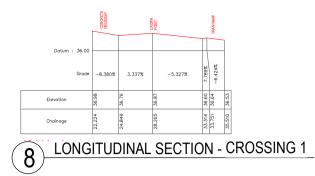












					US S (10 22			CONC OO P	
-3.496%	-5.237%	-7.243%	-3.896%	-0.490%	0.458%	-0.580%	-1.837%	-2.609%	L
- R 7 6	29.57	29.22	28.07	27.80	27.77	27.79	27.72	27.59	27.47
2 	240.942	247,492	263.424	270.355	276.072	279.785	291.846	298.979	303.272

LONG SECTION 3

BUS ANALYSIS

BROADARROW ROAD SOUTHERN SIDE

BUS 940 towards Riverwood Station - EVERY 30 MINS

BROADARROW ROAD NORTHERN SIDE

BUS 940 towards Hurstville Westfield via Narwee and Penshurst Station - EVERY 30 MINS

BONDS ROAD EASTERN SIDE

BUS 944 towards Mortdale Station

- EVERY 30 MINS. BUS 945 towards Westfield Hurstville via Mortdale and Penshurst Station - EVERY 30 MINS

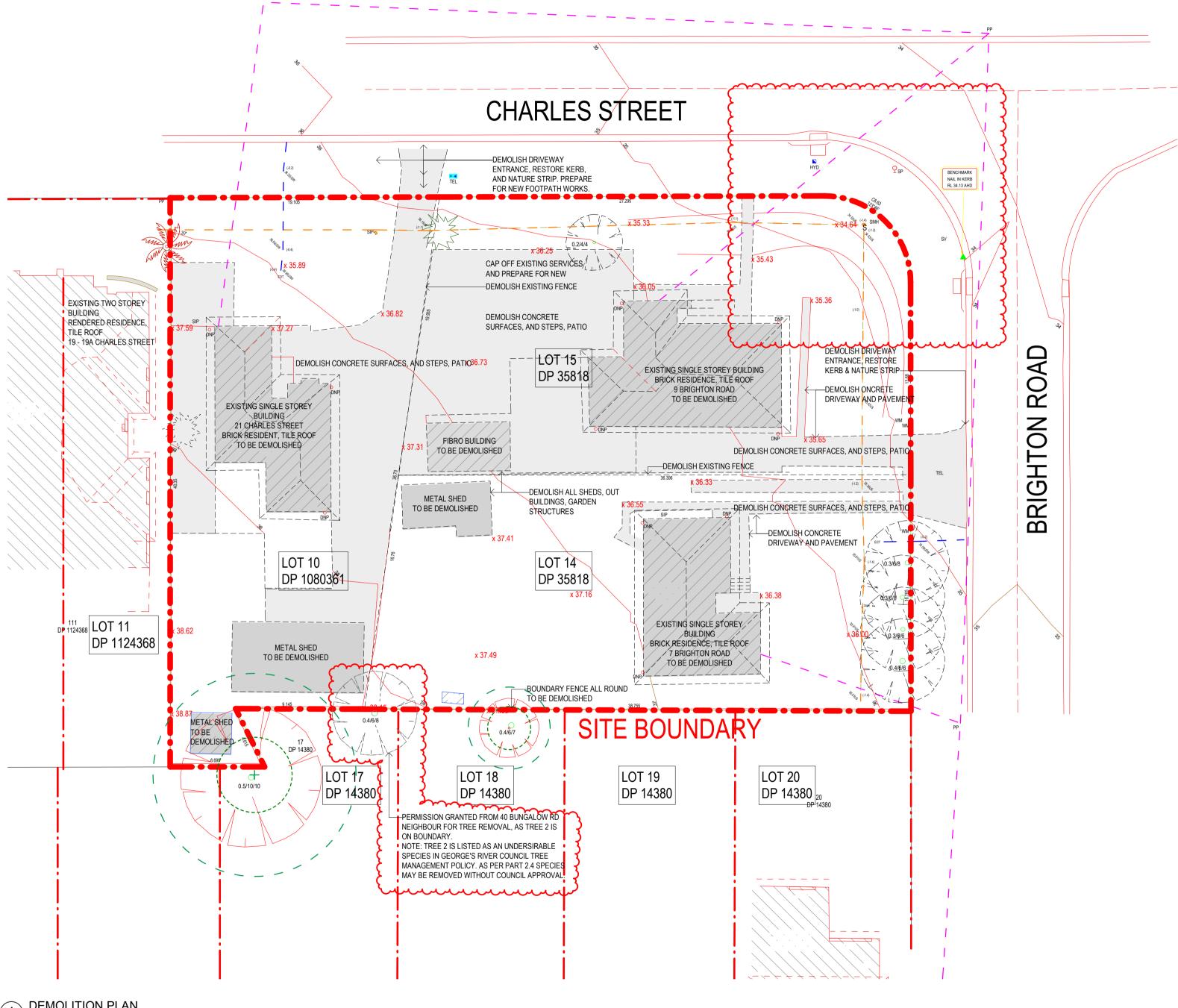
BONDS ROAD WESTERN SIDE

BUS 944 towards Bankstown Central via Riverwood Station - EVERY 30 MINS BUS 945 towards Bankstown Central via Riverwood Station - EVERY 30 MINS

FOOTPATH TO BUS STOP ANALYSIS

PATHWAY FROM PROPOSED DEVELOPMENT TO CLOSEST BUS STOP TO COMPLY WITH CLAUSE 93 PART(4) OF SEPP (Housing) 2021, : PROVIDE PATHWAY GRADIENT OF NOT MORE THAN 1:14 OVERALL AVERAGE. GRADIENTS ALONG THE PATHWAY MUST NOT BE MORE THAN (i) 1:12 FOR max LENGTH 15m AT A TIME OR (ii) 1:10 FOR max LENGTH OF 5m AT A TIME OR (iii) 1:8 FOR A max LENGTH OF 1.5m AT A TIME.

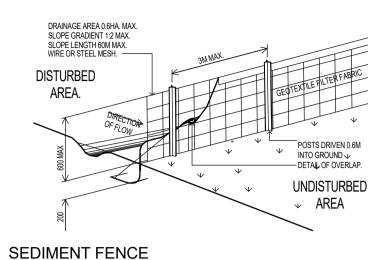




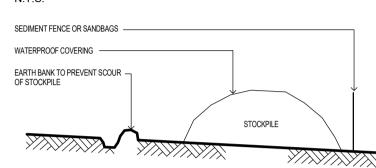
1 DEMOLITION PLAN 1:200



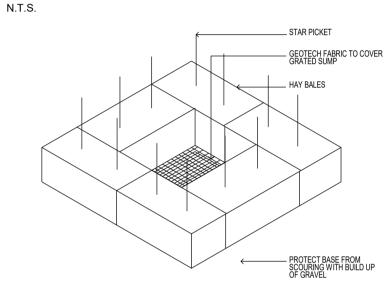
REFER TO CIVIL ENGINEER'S ENVIRONMENTAL SITE MANAGEMENT PLAN FOR FRUTHER DETAILS



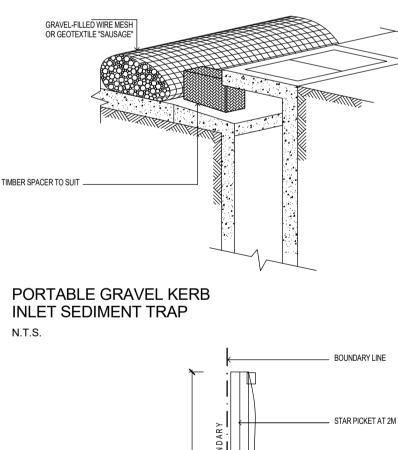
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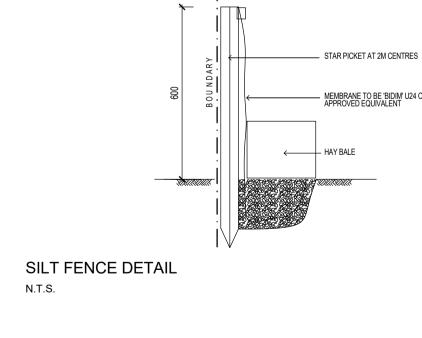


MATERIALS STOCKPILE



STORMWATER PIT INLET SEDIMENT TRAP N.T.S.





DEMOLITION DEMOLITION WORKS TO BE CONDUCTED IN ACCORDANCE WITH AS2601

REMOVE EXISTING TREES, SHRUBS AND THE LIKE WHERE INDICATED ON THE DRAWINGS TO BE REMOVED AND AS NECESSARY TO CONSTRUCT THE WORKS. INCLUING THE GRUBBING OUT OF THE TREE STUMPS REMOVAL OF EXISTING PAVING, ACCESS PATHWAYS, STAIRS, CONCRETE SLABS, ASPHALTIC SURFACES, FOOTINGS, CONCRETE KERB SURROUNDS, FENCING,

RETAINING WALLS, GARDEN BEDS, CHAIN WIRE BARRIERS, AND ASSOCIATED FOUIPMENT REMOVE ALL EXISTING BOUNDARY FENCING OR WALLING TO PROPERTY ALIGNMENTS.

ALL REDUNDANT INGROUND SERVICES AND ALL EXISTING FOOTINGS FROM REMOVED STRUCTURES TO BE REMOVED.

THE CONTRACTOR SHALL ARRANGE FOR A QUALIFIED HYGIENIST TO INSPECT. REPORT AND CERTIFY CLEARANCE OF ALL MATERIAL REMOVED FROM SITE PRIOR TO DEMOLITION AND TO PROVIDE A CLEARANCE CERTIFICATE AFTER DEMOLITION IS COMPLETED

OPERATING HOURS O MINIMSE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION/ EXCAVATIN/ CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT.

ACCESS POINT TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STRET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT

A SEDIMENT CONTROL DEVICE IS TO BE PLAED AT THE SIE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERAIL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHINCLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL. FORM VEHICLE CROSSING FROM 150X50 HARDWOOD PLANKS, CHAMFERED AT

DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS HE MANAGEMENT AND DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS, INCLUDING ASBESTOS, CHEMICALS, OILS SHALL BE IN ACCORDANCE WITH THE CURRENT RELEVANT LEGISLATION INCLUDING:

ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600C/C.

IN THE GROUND) DURING CONSTRUCTION WORKS, THE CONTRACTOR MUST

IMMEDIATELY NOTIFY THE SUPERINTENDANT / AUTHOURISED PERSON AND SEEK

WORK HEALTH AND SAFETY ACT 2011 WORK HEALT AND SAFETY REGULATION 2011 PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997 PROTECTION OF ENVIRONMENT OPERATIONS (WASTE) REGULATION 1997 ENVIRONMENTALLY HAZARDOUS CHEMICALS ACT 1985

AS2601 CLAUSE 1.6.2

ASBESTOS REMOVAL THESE PROPERTIES WERE BUILT BEFORE 31.12.1987 AND IS LIKELY TO HAVE

ASBESTOS CONTAINING MATERIAL. IF DEMOLITION INVOLVES THE DEMOLITION OF BUILDINGS OR PART OF A BUILDING THAT MAY CONTAIN ASBESTOS, A HAZMAT REPORT DOCUMENTING THE EXTENT OF ASBESTOS REMOVAL REQUIRED AND CONFIRMING THAT THE REMOVAL WILL BE UNDERTAKEN IN ACCORDANCE WITH WORKCOVER NSW REQUIREMENTS MUST BE PROVIDED. ROOFING AND CLADDING MATERIALS MUST BE CHECKED FOR THE PRESENCE OF ASBESTOS BEFORE ANY SUCH MATERIAL IS DISTURBED OR REPLACED. ALL WORK. WHICH INVOLVES THE REMOVAL OF PRODUCTS CONTAINING ASBESTOS OR BRINGS PERSONS INTO CONTACT WITH ASBESTOS, MUST ONLY BE PERFORMED BY PERSONS LICENSED BY AND HOLDING A PERMIT ISSUED BY WORKCOVER AUTHORITY UNDER WORK HEALTH AND SAFETY REGULATION 2011. A COPY OF LICENCE MUST BE SUBMITTED TO THE SUPERINTENDENT/AUTHORISED PERSON PRIOR TO COMMENCEMENT OF THIS WORK. IF ASBESTOS MATERIALS ARE ENCOUNTERED (I.E

FURTHER DIRECTIONS DEMOLISHED MATERIA REMOVAL - TAKE POSSESSION OF DEMOLISHED MATERIALS AND REMOVE THEM FROM THE SITE EXCEPT FOR ITEMS TO BE RECOVERED FOR RE-USE. BURNING OR

BURYING DEMOLISHED MATERIALS ARE STRICTLY PROHIBITED ON THE SITE. PREVENT SPILLAGE OF DEMOLISHED MATERIALS IN TRANSIT RECYCLE - DISMANTLE BUILDING COMPONENTS FOR OFF-SITE RECYCLING

REMOVE CLEARED AND GRUBBED MATERIAL FROM THE SITE AND DISPOSE OF EGALL

NOTICE OF COMPLETION GENERAL GIVE AT LEAST 5 WORKING DAYS' NOTICE OF COMPLETION OF DEMOLITION SO THAT ADJACENT STRUCTURES MAY BE INSPECTION FOLLOWING COMPLETION OF DEMOLITION

TREE PROTECTION ROTECT EXISTING TREES AS SPECIFIED AND NOTED IN ARBORIST REPORT TREE PROTECTION ZONE (TPZ) IN ACCORDANCE WITH AS4970 SECTION 3 TREE PROTECTIVE MEASURES TO BE CONDUCTED IN ACCORDANCE WITH AS4970 SECTION 4

HARMFUL MATERIALS - KEEP AREA WITHIN DRIPLINE FREE OF SHDES AND PATHAS, CONSTRUCTION MATERIAL AND DEBRIS HAND METHODS - USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION WORK UNDER TREES - DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSIOL TO, AREAS WITHIN DRIPLINE OF TREES



DEMOLITION LEGEND — — STORMWATER — — SEWER ---- SRZ - STRUCTURAL ROOT ZONE 🛛 TELSTRA PIT NT. TREES TO BE REMOVED VINY \bigwedge EXISTING TREES \bigvee

LOCKED BAG 5022 PARRAMATTA NSW 2124 N S VV PHONE No 1800 738 718 GOVERNMENT https://www.dpie.nsw.gov.au/land-and-housing-corporation



PROTECTION OF TRESS ON DEVELOPMENT SITES

PROTECTION OF TRESS ON DEVELOPMENT SITES:

SITE MANAGEMENT OF RETAINED TREES

- PEDESTRIAN AND VEHICULAR MOVEMENT SHALL NOT OCCUR WITHIN ANY SECTION OF THE SPECIFIED TREE PROTECTION ZONE.

- TEMPORARY SERVICES I.E. WATER, ELECTRICITY, SEWER SHALL NOT BE LOCATED WITHIN ANY SECTION OF THE TREE PROTECTION ZONE, FOR ANY PURPOSE.

- AVOID LARGE CHANGES TO THE SURFACE STRUCTURE DUE TO MODIFICATION OF THE TREE'S MOISTURE / SURFACE FEEDING ROOTS - A QUALIFIED ARBORIST/HORTICULTURALIST UNDERTAKES ALL ARBORICULTURAL WORKS.

- ANY EXCAVATION THAT IS REQUIRED FOR THE PIER BEAMS LOCATED WITHIN THE TREES TPO WILL BE HAND DUG TO ENSURE MINIMAL DISTURBANCE TO SUPPORT AND OR SURFACE FEEDING ROOTS. - ANY TREE ROOTS DISCOVERED ARE CUT CLEANLY WITH ROOT PRUNING DEVICES - NO TREE ROOTS OVER 40MM IN DIAMETER WILL BE CUT WITHOUT PROJECT ARBORIST AND COUNCIL APPROVAL

- ANY PROPOSED WORK LOCATED NEAR THE TRUNK OR OUTER CANOPY OF THE TREES DRIP LINE, WHERE SERVICES ARE KNOWN TO BE IN THE VICINITY, ANY EXCAVATION FOR SERVICES SHOULD BE HAND DUG TO ENSURE MINIMAL IMPACT TO THE TREES SURFACE FEEDING AND SUPPORT ROOTS. - NO BUILDING WASTE IS TO BE DISPOSED OF/OR STORED NEAR THE TREE TRUNK OR DRIP ZONE, - REGULAR WATERING IS TO BE UNDERTAKEN IN HOT DRY PERIODS TO ALLEVIATE ANY SHORT-TERM STRESS OR LOSS OF AVAILABLE WATER,

- ERECTION OF A CHAIN MESH SAFETY FENCE BE INSTALLED TO ENSURE THE PROTECTION OF TREES CRITICAL ROOT ZONE AS PER ANNEXURE B, - A QUALIFIED ARBORIST SHOULD MONITOR THESE TREES OVER A TWELVE (12) MONTH PERIOD TO EVALUATE THE TREES RECOVERY AND PROVIDE TECHNICAL INFORMATION TO COUNCIL AS REQUIRED.

SITE WORKS TREE PROTECTION ZONES

THE TREES IDENTIFIED TO BE RETAINED SHALL BE PROTECTED PRIOR TO AND DURING THE CONSTRUCTION PROCESS FROM ACTIVITIES THAT MAY RESULT IN AN ADVERSE EFFECT ON ITS HEALTH, STRUCTURE, OR LONGEVITY. THE AREA WITHIN THE TREE PROTECTION ZONE SHALL EXCLUDE THE FOLLOWING ACTIVITIES, UNLESS OTHERWISE STATED AND OR APPROVED BY COUNCIL/CONSENT AUTHORITY;

- MODIFICATION OF EXISTING SOIL LEVELS, - EXCAVATIONS AND TRENCHING,
- CULTIVATION OF THE SOIL, - MECHANICAL REMOVAL OF VEGETATION,
- SOIL DISTURBANCE,
- MOVEMENT OF NATURAL ROCK, - STORAGE OF MATERIALS, PLANT, OR EQUIPMENT,
- ERECTION OF SITE SHEDS.
- AFFIXING OF SIGNAGE OR HOARDING TO THE TREE, PREPARATION OF BUILDING MATERIALS,
- DISPOSAL OF WASTE MATERIALS AND CHEMICALS, - MOVEMENT OF PEDESTRIAN OR VEHICULAR TRAFFIC
- TEMPORARY OR PERMANENT LOCATION OF SERVICES,

WORKS WITHIN THE TREE PROTECTION ZONE THE TREE PROTECTION ZONE MAY NEED TO BE MODIFIED DURING THE CONSTRUCTION PROCESS TO ALLOW ACCESS BETWEEN THE TREE TO BE RETAINED AND THE CONSTRUCTION WORKS. THE TREE PROTECTION ZONE SHALL REMAIN INTACT AS SPECIFIED AND APPROVED BY COUNCIL UNTIL THESE WORKS ARE TO PROJECT COMPLETION. IF ACCESS, ENCROACHMENT, OR INCURSION INTO THE TREE PROTECTION ZONE IS DEEMED ESSENTIAL, PRIOR AUTHORIZATION IS REQUIRED BY

THE SITE ARBORIST THE MODIFICATION OF THE TREE PROTECTION ZONES MAY NECESSITATE THE DISMANTLING OF SECTIONS OF THE TREE PROTECTION FENCING IN THE SHORT TERM AS PART OF THE CONSTRUCTION PROCESS. THE TREE PROTECTION FENCE SHALL ONLY BE REMOVED, ALTERED, OR RELOCATED WITH THE AUTHORIZATION OF THE SITE ARBORIST IN WRITING.

TREE TRUNK PROTECTION WORKS

WHERE DEEMED NECESSARY BY THE SITE ARBORIST TRUNK PROTECTION SHALL BE PROVIDED TRUNK PROTECTION MAY VARY SUBJECT TO THE SCOPE OF WORKS, TREES AGE, HEIGHT, AND ENVIRONMENTAL CONDITIONS. FOR SEMI MATURE TO MATURE TREES SHALL BE INSTALLED BY WRAPPING AROUND TWO-(2) LAYERS OF CARPET UNDERLAY OR SIMILAR AROUND THE TRUNK TO A MINIMUM HEIGHT OF 2M OR WHERE THE LOWER SCAFFOLD BRANCHES ALLOW. THE TRUNK SHALL FURTHER BE PROTECTED WITH 2M LENGTHS OF TIMBERS (75 X 50 X 200MM) SPACED AT 100MM CENTRES, SECURED BY WIRE ROPE. THE WIRE ROPE SHALL NOT BE FIXED TO THE TREE IN ANY WAY

TREE BRANCH PROTECTION WORKS

WHERE DEEMED NECESSARY BY THE SITE ARBORIST, BRANCH PROTECTION SHALL BE PROVIDED. BRANCH PROTECTION SHALL BE INSTALLED BY WRAPPING AROUND TWO-(2) LAYERS OF CARPET UNDERLAY OR SIMILAR AROUND THE BRANCH, SECURED BY WIRE ROPE.

ROOT PRUNING AND EXCAVATION WORKS

MINOR ROOTS (LESS THAN 40MM IN DIAMETER) TO BE PRUNED SHALL BE CLEANLY SEVERED WITH SHARP, STERILISED PRUNING IMPLEMENTS. HESSIAN MATERIAL SHALL BE PLACED OVER THE FACE OF THE EXCAVATION. EXPOSED ROOTS SHALL BE KEPT IN A MOIST CONDITION DURING THE CONSTRUCTION PHASE.

IF UNDER THE COURSE OF CONSTRUCTION, THE TREE ROOTS ARE DAMAGED OR ADVERSELY AFFECTED. THEIR DEMISE WILL CAUSE DROUGHT STRESS: POOR UPTAKE OF WATER AND NUTRIENTS, SLOWER DISPERSAL OF GUMS AND RESINS AND COULD, IN THE LONG TERM, INFLUENCE THE MOVEMENT OF CERTAIN COMPOUNDS WHICH MAKE UP THE STRUCTURE OF THE TREE. WHERE MAJOR ROOTS (GREATER THAN 40MMØ) ARE ENCOUNTERED DURING EXCAVATIONS, FURTHER ADVICE FROM THE SITE ARBORIST SHALL BE SOUGHT PRIOR TO ANY PRUNING. CERTAIN INSTANCES MAY REQUIRE HAND DIGGING TO ENSURE THE TREES HEALTH AND OVERALL STABILITY.

TREE PROTECTION FENCING

TREE PROTECTION FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE TREE PROTECTION ZONE AS SPECIFIED. AS A MINIMUM, THE TREE PROTECTION FENCE SHALL CONSIST OF 1.8M HIGH TEMPORARY CHAIN WIRE PANELS SUPPORTED BY STEEL POLES/STAKES. THEY SHALL BE FASTENED TOGETHER AND SUPPORTED TO PREVENT SIDEWAYS MOVEMENT. THE FENCE MUST HAVE A LOCKABLE OPENING FOR ACCESS. THE TREE'S WOODY ROOTS SHALL NOT BE DAMAGED DURING THE INSTALLATION OF THE TREE PROTECTION FENCING

SHADE CLOTH MATERIAL SHALL BE ATTACHED TO THE OUTER SURFACE OF THE TREE PROTECTION FENCE. THE SHADE CLOTH MATERIAL SHALL BE TRANSPARENT TO PROVIDE VISIBILITY INTO THE TREE PROTECTION ZONE.

THE TREE PROTECTION FENCE SHALL BE ERECTED PRIOR TO THE COMMENCEMENT OF WORKS ON-SITE AND SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE DEVELOPMENT PERIOD

THE TREE PROTECTION FENCE SHALL ONLY BE REMOVED, ALTERED, OR RELOCATED WITH THE AUTHORIZATION FROM THE SITE ARBORIST IN CONSULTATION WITH THE SITE SUPERVISOR.

TREE PROTECTION SIGNAGE SHALL BE ATTACHED TO THE TREE PROTECTION ZONE AND DISPLAYED IN A PROMINENT POSITION ON EACH TREE PROTECTION FENCING. THE SIGNS SHALL BE REPEATED AT 10M INTERVALS OR CLOSER WHERE THE FENCE CHANGES DIRECTION. THE SIGNAGE SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORKS ON-SITE AND SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE DEVELOPMENT PERIOD. THE LETTERING FOR EACH SIGN SHALL BE A MINIMUM 72-POINT FONT SIZE. THE SIGNS SHALL BE A MINIMUM SIZE OF 600 X 500MM. THE LETTERING ON THE SIGN SHOULD COMPLY WITH AS 1319. EACH SIGN SHALL ADVISE THE FOLLOWING DETAILS;



THIS FENCE HAS BEEN INSTALLED TO PREVENT DAMAGE TO THE TREE AND ITS NATURAL ENVIRONMENT. ACCESS IS RESTRICTED.

- IF ACCESS, ENCROACHMENT, OR INCURSION INTO THIS TREE PROTECTION ZONE IS REQUIRED, PRIOR AUTHORISATION IS REQUIRED BY THE SITE ARBORIST.

- NAME, ADDRESS, AND TELEPHONE NUMBER OF THE FIRM.

OURCE AS 7970-2009 PROTECTION OF TREES ON DEVELOPMENT

COMPLETION OF WORKS WITHIN TREE PROTECTION ZONE

UPON COMPLETION OF THE WORKS WITHIN THE TREE PROTECTION ZONE, THE TREE PROTECTION FENCING SHALL BE SHALL ERECTED UNTIL SITE MACHINERY, SHEDS, STORAGE FACILITIES ARE REMOVED

WHERE THE CONSTRUCTION OF NEW STRUCTURES DOES NOT PROVIDE SUFFICIENT AREA FOR THE SPECIFIED TREE PROTECTION ZONE, THE TREE PROTECTION ZONE SHALL BE MODIFIED BY THE SITE ARBORIST PRIOR TO ANY WORKS COMMENCING AND BE DOCUMENTED.

MONITORING

A SITE LOG SHALL RECORD THE DETAILS OF THE SITE INSPECTIONS FOR REVIEW BY THE PRINCIPAL CERTIFYING AUTHORITY PRIOR TO THE RELEASE OF THE COMPLIANCE/OCCUPATION CERTIFICATE. THE APPLICANT/CONTRACTOR SHALL COMPLETE ALL WORKS TABLED IN THIS ARBORIST ASSESSMENT IN ACCORDANCE WITH THIS PROGRAM AS AGREED WITH, ANY VARIATIONS ARE TO BE FORMALLY SUBMITTED TO THE SITE ARBORIST AND OR CERTIFYING AUTHORITY FOR APPROVAL. THE WORK SHALL BE DEEMED 'PRACTICALLY COMPLETE' WHEN ALL WORKS HAVE BEEN COMPLETED TO THE SATISFACTION OF THE CONTRACTOR AND CERTIFYING AUTHORITY.



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Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP10803 Sheet Title

DEMOLITION PLAN

Date: Drawn: Checked Revision

Checker

Scale 20-10-23 As Noted Project No. 22009 G Authorised Drawing No.

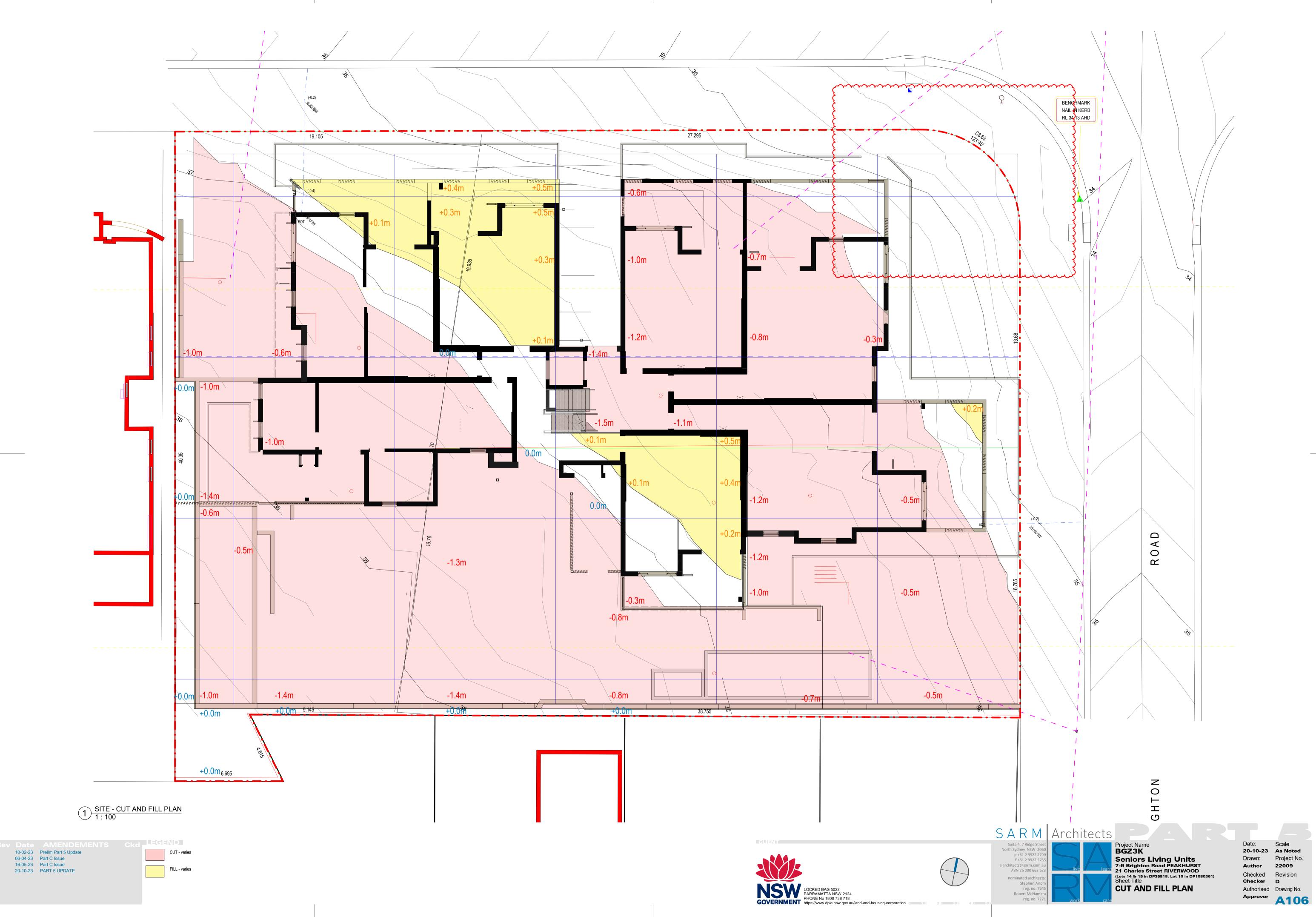


 50-100mm layer of aggregate o mulch within TPZ fence 1800 high temporary wire mesh fence panels in concrete feet. Where permanent fence is being installed, ensure post footings avoid damage to roots. NO GO tree protection (TPZ) signage located at suitable intervals around fence. TREE PROTECTION FENCE DETAIL
Install Tree Protection fence where shown. Fence to comply with AS
4970 Trees on Development States. Refer to Arborists report. No cut,
fill or machine excavation within TPZ.

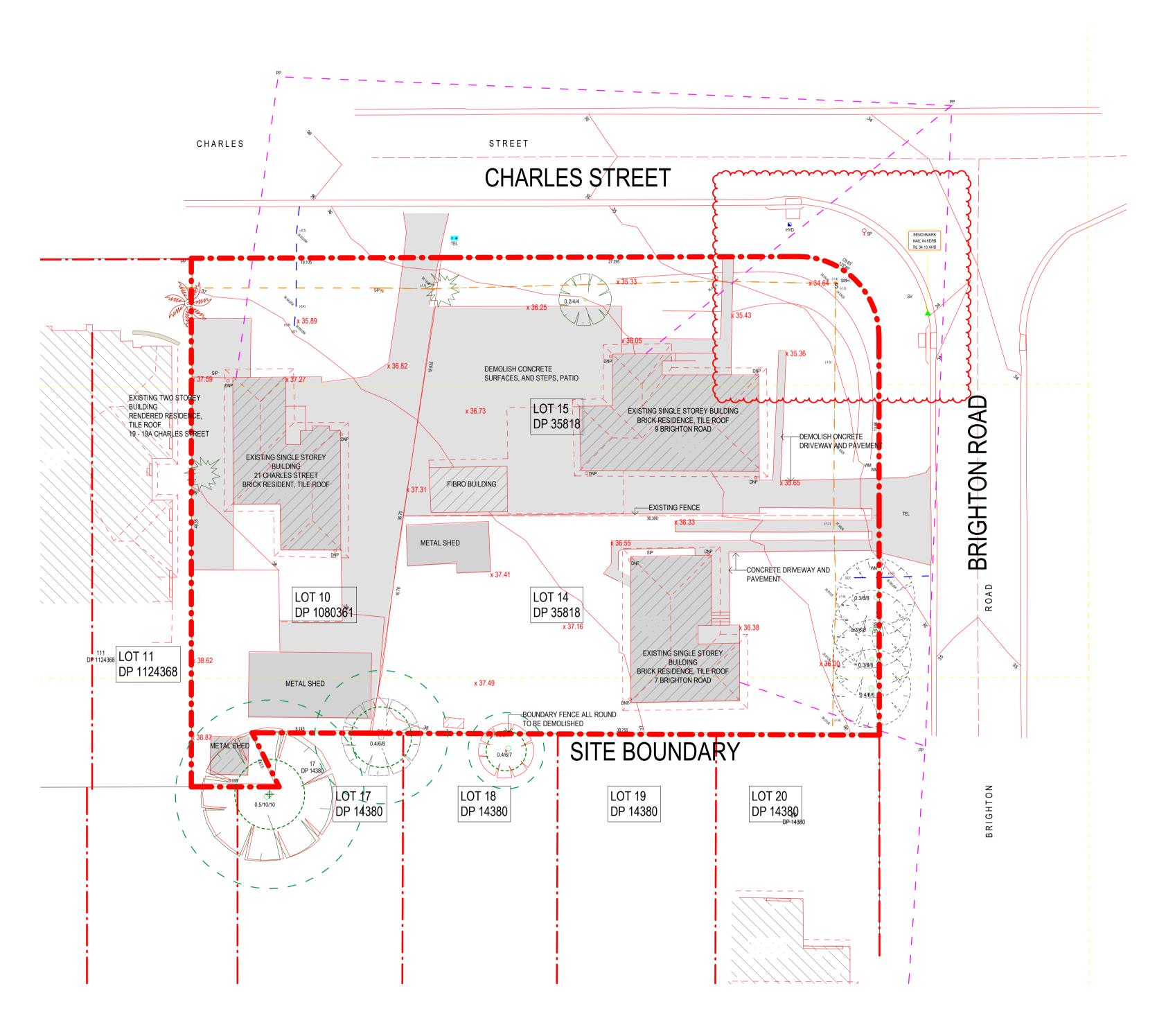
EXISTING HYDRANT

SEWER MANHOLE SEWER INSPECTION POINT





Scale Authorised Drawing No.

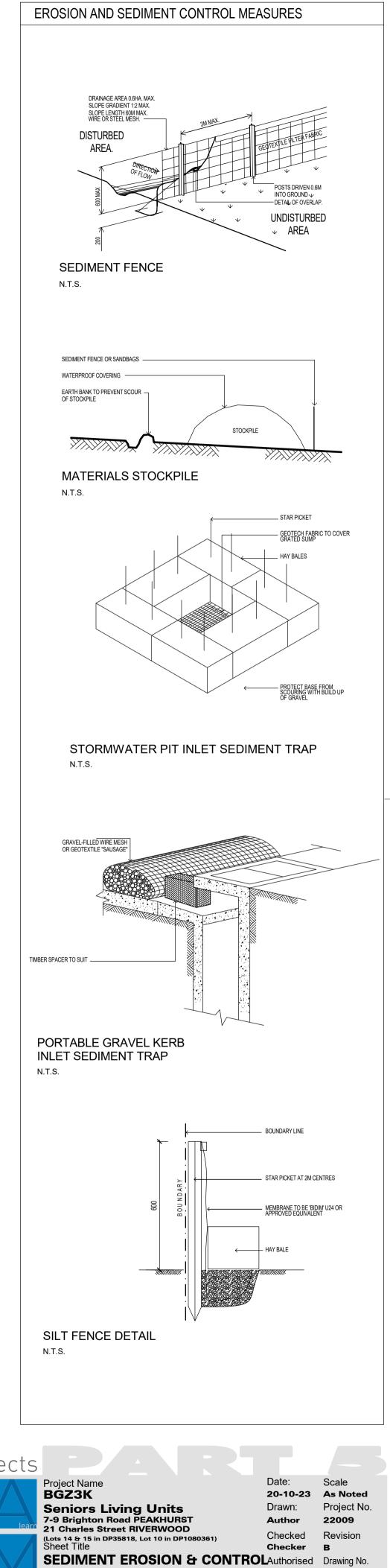


1 EROSION & SEDIMENT CONTROL PLAN 1 : 200



CLIENT





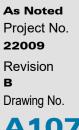
SARM Architects Suite 4, 7 Ridge Street North Sydney NSW 2060 p +61 2 9922 279 f +61 2 9922 275 e architects@sarm.com. ABN 26 000 663 62 nominated archited Stephen Arlo reg. no. 7645

Robert McNam

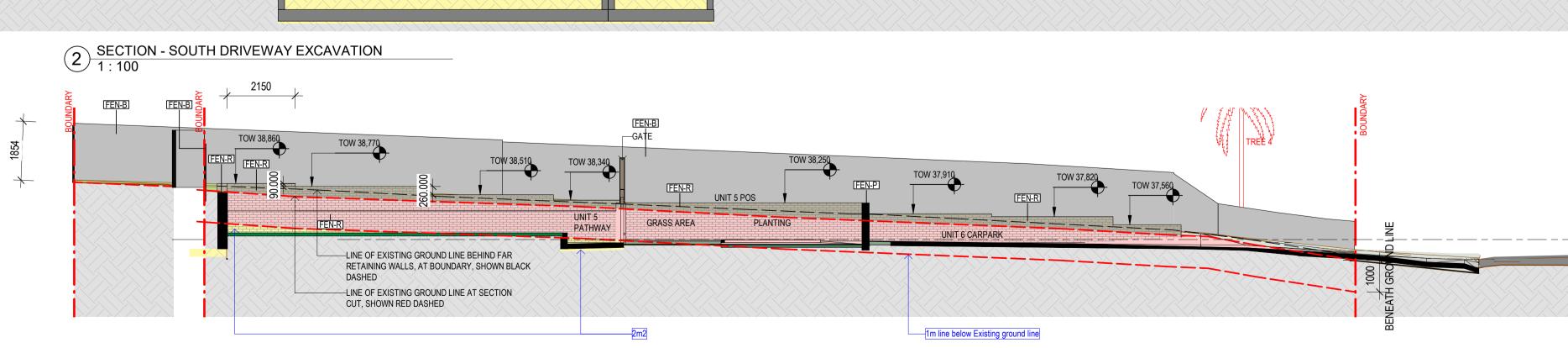
reg. no. 727

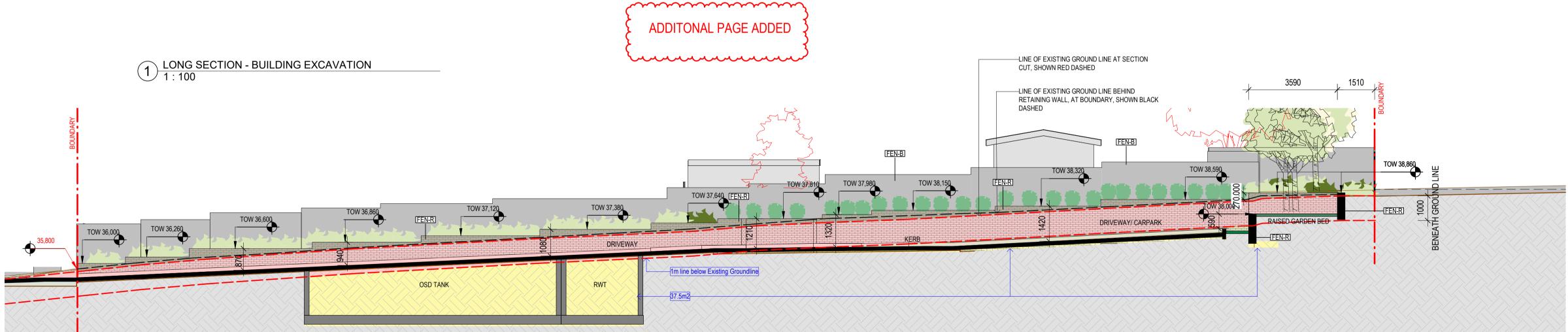
PLAN

Approver A107



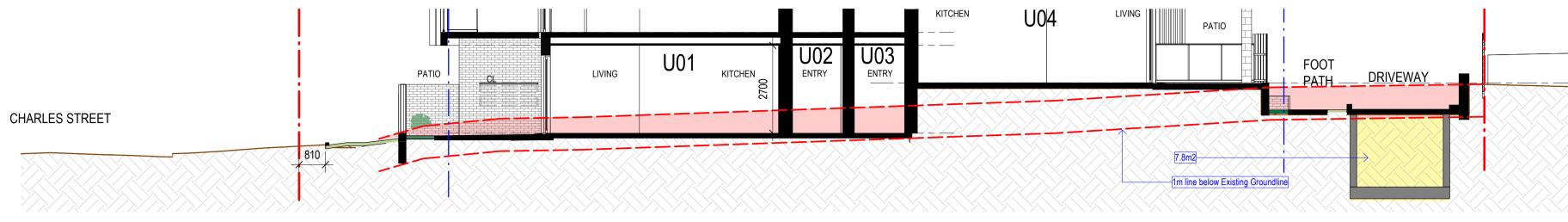






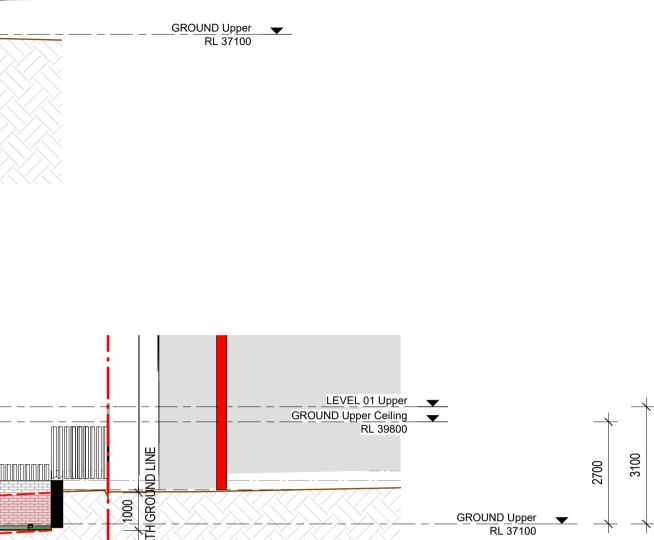


4 SHORT SECTION - BUILDING EXCAVATION 1:100





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GROUND Upper 🚽 RL 37100

Scale 20-10-23 As Noted Project No. 22009 Authorised Drawing No.



1) PERSPECTIVE VIEW - Street Corner



2 PERSPECTIVE VIEW - Charles St Entry



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Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080361) Sheet Title PERSPECTIVE SKETCH VIEWS

Author 22009 Checker A

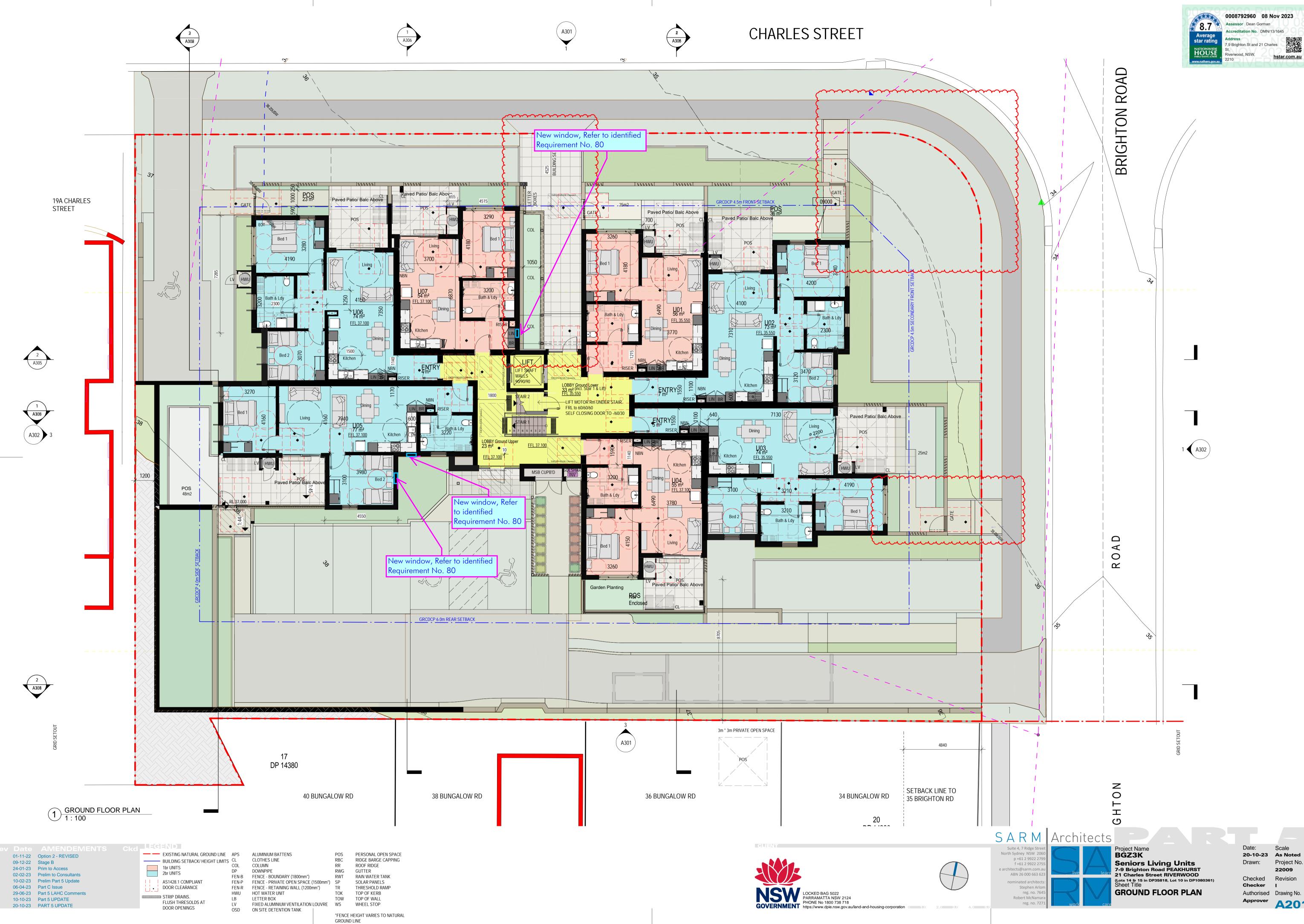
Date: Scale 20-10-23 As Noted Drawn: Project No. Checked Revision Authorised Drawing No. Approver A109



Date:

Drawn: Author Checked Revision Checker J Authorised Drawing No. Approver

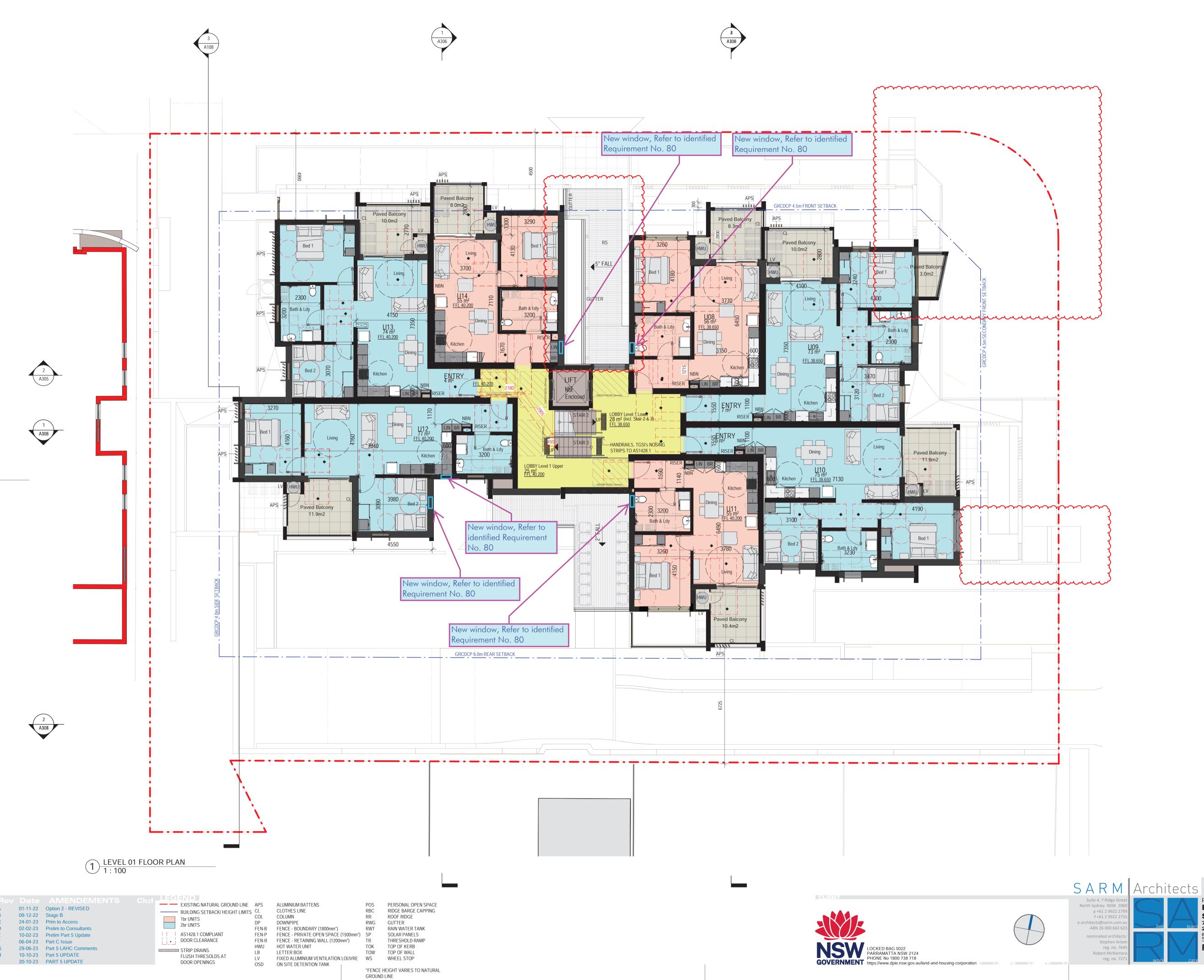
Scale 20-10-23 As Noted Project No. 22009 **A200**



0008792960 08 Nov 2023 Address 7,9 Brighton St and 21 Charles St, Riverwood, NSW, 2210

Scale 20-10-23 As Noted Drawn: Project No. 22009 Checked Revision



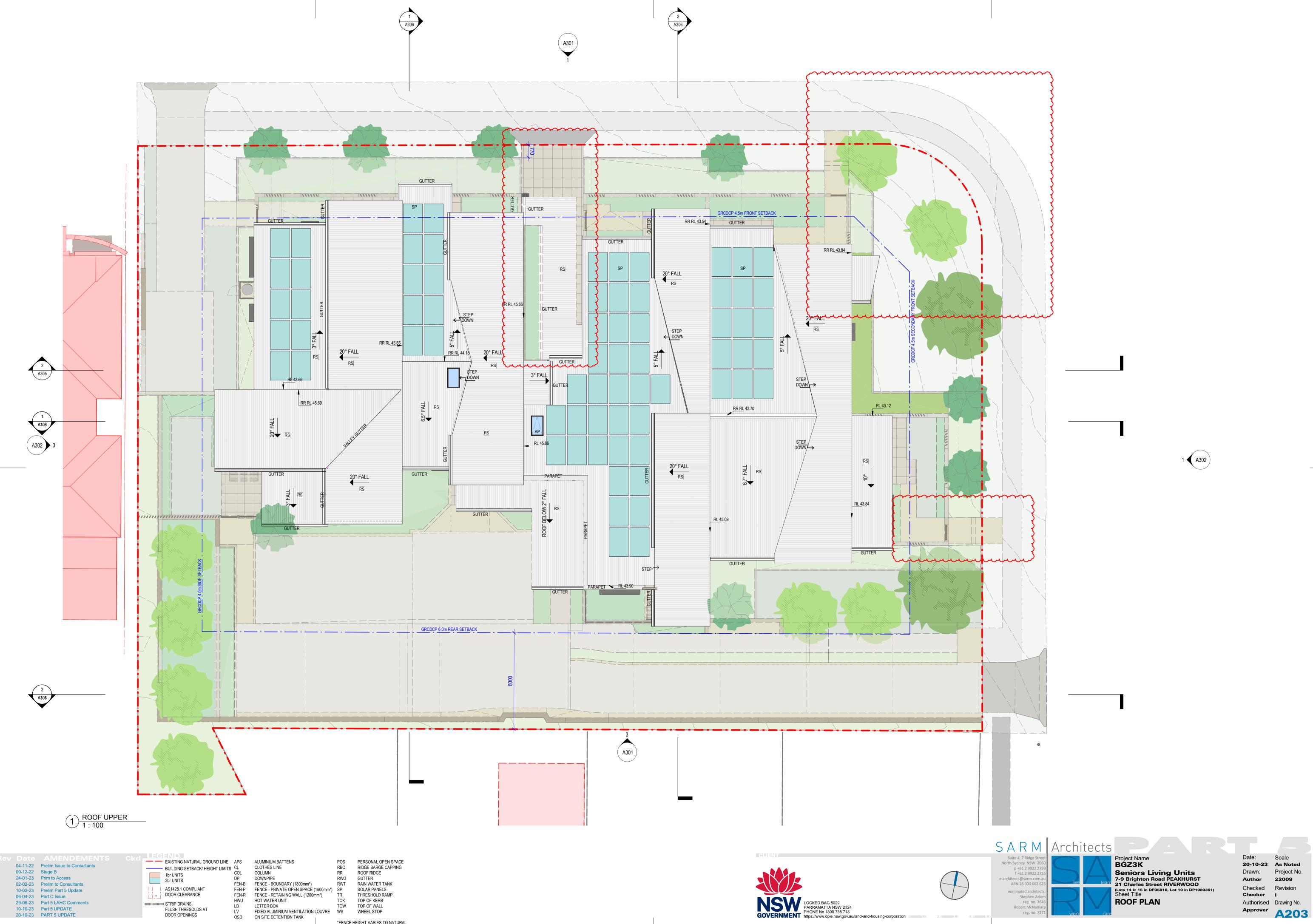




Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080361) Sheet Title FIRST FLOOR PLAN

Date: Scale Author 22009 Checker I

20-10-23 As Noted Drawn: Project No. Checked Revision Authorised Drawing No. Approver A202

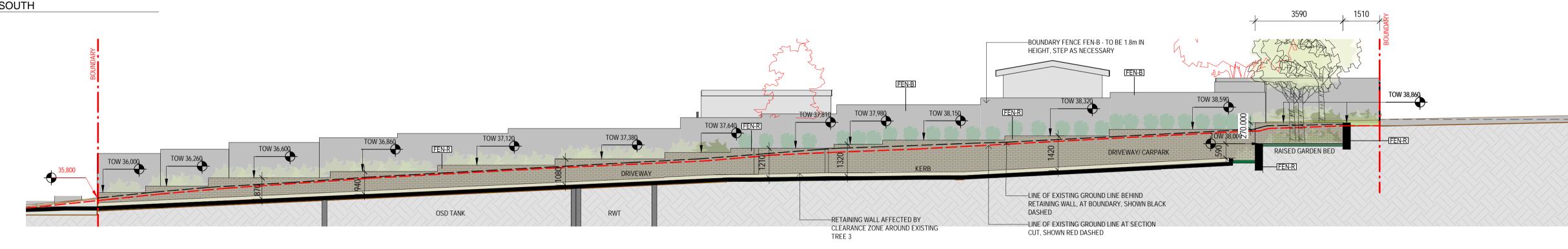


*FENCE HEIGHT VARIES TO NATURAL

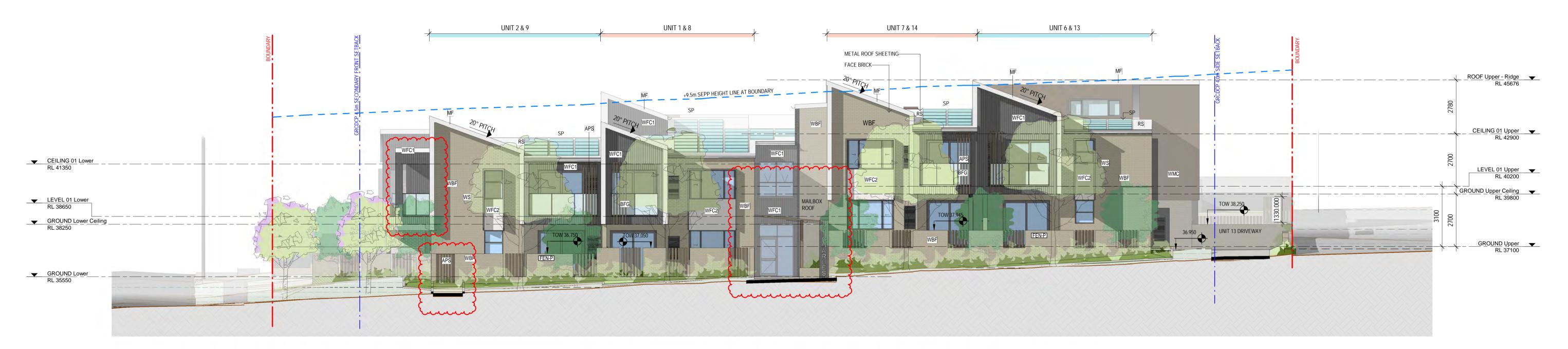
GROUND LINE



3 ELEVATION - SOUTH 1 : 100







1 ELEVATION - NORTH 1:100

Rev		AMENDEMENT
В	09-12-22	Stage B
С	24-01-23	Prim to Access
D	02-02-23	Prelim to Consultants
E	10-02-23	Prelim Part 5 Update
F	06-04-23	Part C Issue
G	16-05-23	Part C Issue
Н	29-06-23	Part 5 LAHC Comments
I	10-10-23	Part 5 UPDATE
J	20-10-23	PART 5 UPDATE

------ EXISTING NATURAL GROUND LINE APS

BUILDING SETBACK/ HEIGHT LIMITS

APS	ALUMINIUM BATTENS
CL	CLOTHES LINE
COL	COLUMN
DP	DOWNPIPE
FEN-B	FENCE - BOUNDARY
FEN-P	FENCE - PRIVATE OPEN SPACE
FEN-R	FENCE - RETAINING WALL
HWU	HOT WATER UNIT
LB	LETTER BOX
MF	ALUMINIUM FEATURE BLADE

ON SITE DETENTION TANK
PERSONAL OPEN SPACE
RIDGE BARGE CAPPING
ROOF RIDGE
GUTTER
RAIN WATER TANK

SOLAR PANELS

TOP OF KERB

TOP OF WALL

BRICK WALL

OSD POS RBC

RR

RWG RWT SP

TOK

TOW WBF

WMC WS

N TANK WFC1 FIBRE CEMENT CLADDING SPACE WFC2 FIBRE CEMENT INFILL METAL CLADDING WHEEL STOP



CLIENT





3 ELEVATION - WEST 1 : 100



1 ELEVATION - EAST 1 : 100

Rev		AMENDEME
В	09-12-22	Stage B
С	24-01-23	Prim to Access
D	02-02-23	Prelim to Consultants
E	10-02-23	Prelim Part 5 Update
F	06-04-23	Part C Issue
G	16-05-23	Part C Issue
Н	29-06-23	Part 5 LAHC Comments
I.	10-10-23	Part 5 UPDATE
J	20-10-23	PART 5 UPDATE

------ EXISTING NATURAL GROUND LINE APS BUILDING SETBACK/ HEIGHT LIMITS

	APS	ALUMINIUM BATTENS
S	CL	CLOTHES LINE
	COL	COLUMN
	DP	DOWNPIPE
	FEN-B	FENCE - BOUNDARY
	FEN-P	FENCE - PRIVATE OPEN SPACE
	FEN-R	FENCE - RETAINING WALL
	HWU	HOT WATER UNIT
	LB	LETTER BOX
	MF	ALUMINIUM FEATURE BLADE
		1

OSD ON SITE DETENTION TANK WFC1 FIBRE CEMENT CLADDING POS PERSONAL OPEN SPACE WFC2 FIBRE CEMENT INFILL RBC RIDGE BARGE CAPPING WMC METAL CLADDING RR ROOF RIDGE WS WHEEL STOP RWG GUTTER RWT RAIN WATER TANK SP SOL AP PANIELS

TOP OF KERB

TOW TOP OF WALL WBF BRICK WALL

SP

TOK

SOLAR PANELS



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	CODE	Material Ex	terior Schedule Material: Description	COLOUR
	FEN-B		Boundary fence	Brown
	FEN-R		Retaining wall - brick with soldier course capping	Light Tan
	FEN P		Private Open Space Fence. Heights vary, rerfer to plans & Elevations	Brown
	APS		Vertical angled timber look Aluminium blades	Brown
	FEN-S		Privacy Fence	Brown
	WBF		Brick, smooth faced	Light Tan
	WFC2		Prefinished infil FC Panels within window set surrounds	Charcoal
GROUND Upper _	ALU		Aluminium window and door frame system	Light Grey
	APS		Timber look Aluminium Vertical Battens	Brown
	WS		Metal sunhood	Charcoal
or D	BFG		Glazed Balustrade	Transluce t
9 V 0 9 V 0	WFC1		Prefinished FC Panels, vertical with woodgrain	White
9 r v	WMC		Metal Cladding. Vertical profile	Brown
	MF		Aluminium Feature Capping	Light Grey
	RS		Metal deck roofing	Light Beig



reg. no. 7645

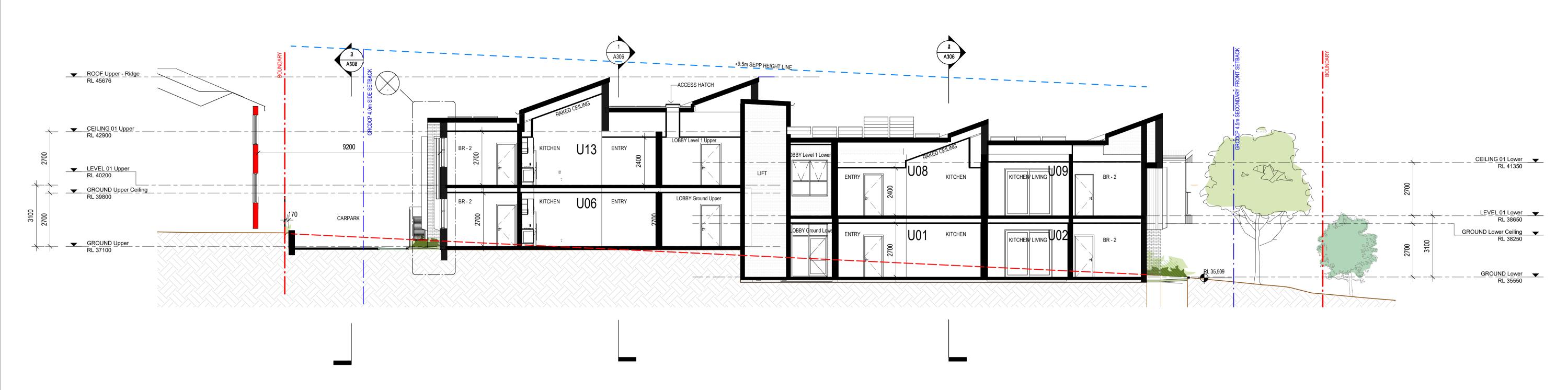
Robert McNama

reg. no. 727

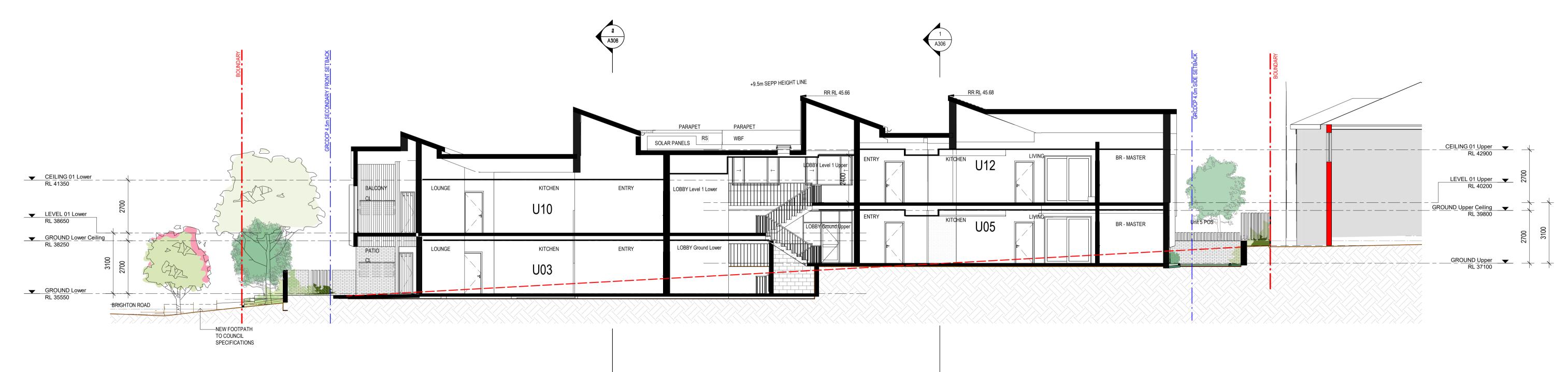
Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP10803) Sheet Title ELEVATIONS EAST, WEST & MATERIAL SCHEDULE

Date: 20-10-23 As Noted Drawn: Project No. Author 22009 Checked Revision Checker J Authorised Drawing No.

Scale Approver A302



2 SECTION - 2-2 1 : 100



1 SECTION - 1-1 1 : 100

v Date AMENDEMENTS C 04-11-22 Prelim Issue to Consultants 09-12-22 Stage B 24-01-23 Prim to Access 10-02-23 Prelim Part 5 Update 06-04-23 Part C Issue 29-06-23 Part 5 LAHC Comments 20-10-23 PART 5 UPDATE

----- EXISTING NATURAL GROUND LINE APS BUILDING SETBACK/ HEIGHT LIMITS

APS	5	ALUMINIUM BATTENS
CL		CLOTHES LINE
CO		COLUMN
DP		DOWNPIPE
FEN	N-B	FENCE - BOUNDARY
FEN	N-P	FENCE - PRIVATE OPEN SPACE
FEN	N-R	FENCE - RETAINING WALL
HW	U	HOT WATER UNIT
LB		LETTER BOX
MF		ALUMINIUM FEATURE BLADE

ON SITE DETENTION
PERSONAL OPEN SE
RIDGE BARGE CAPF
ROOF RIDGE
GUTTER
RAIN WATER TANK

SOLAR PANELS

TOP OF KERB

TOP OF WALL

BRICK WALL

OSD POS RBC RR

RWG RWT SP TOK TOW WBF

TION TANK WFC1 FIBRE CEMENT CLADDING IN SPACE WFC2 FIBRE CEMENT INFILL CAPPING WMC METAL CLADDING WS WHEEL STOP



CLIENT



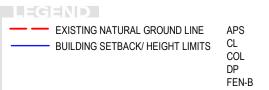
04-11-22 Prelim Issue to Consultants 09-12-22 Stage B 24-01-23 Prim to Access 10-02-23 Prelim Part 5 Update 06-04-23 Part C Issue 29-06-23 Part 5 LAHC Comments 20-10-23 PART 5 UPDATE

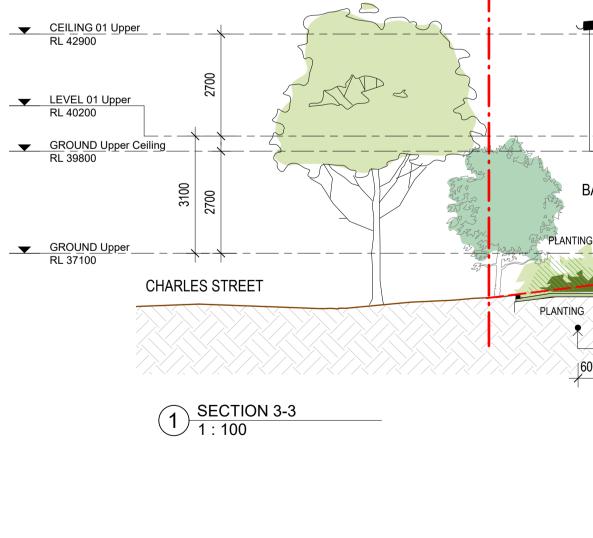
ROOF Upper - Ridge RL 45676

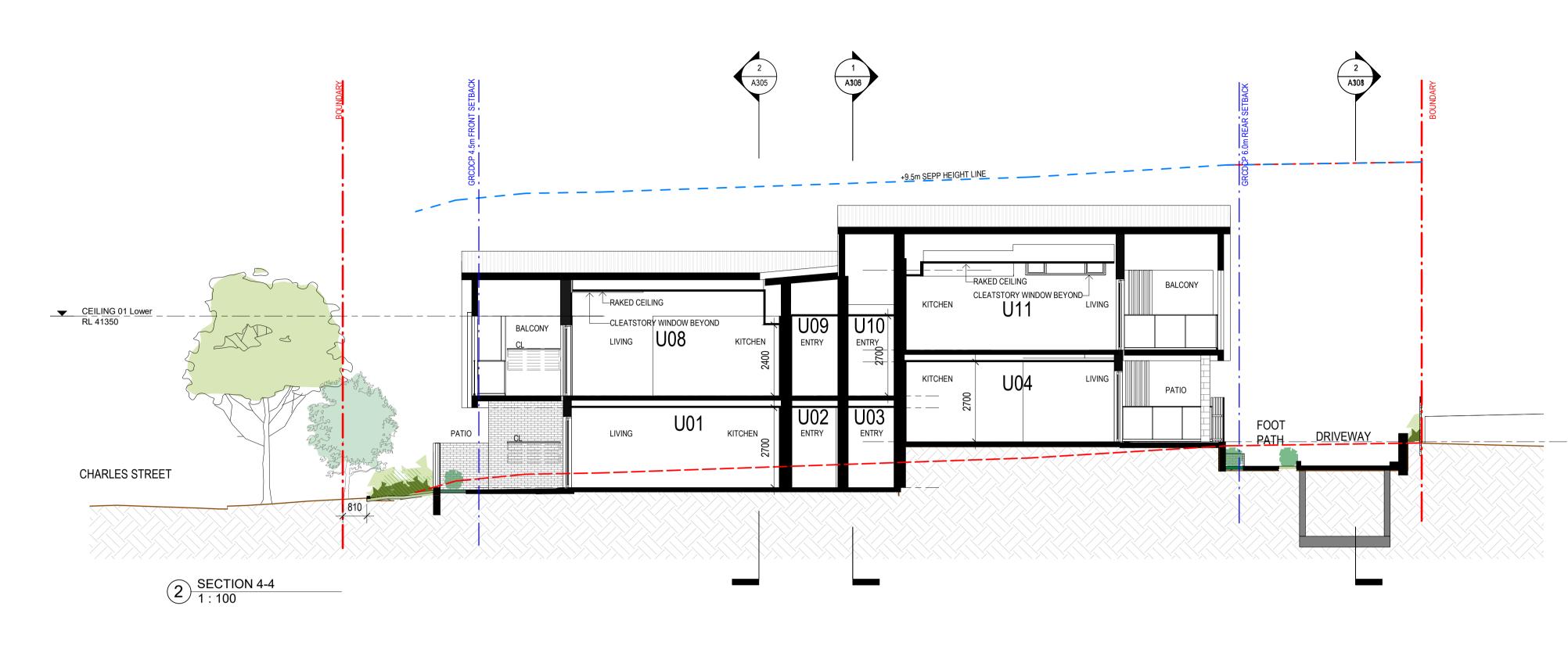
ALUMINIUM BATTENS CLOTHES LINE COLUMN DOWNPIPE DP DOWNPIPE FEN-B FENCE - BOUNDARY FEN-P FENCE - PRIVATE OPEN SPACE FEN-R FENCE - RETAINING WALL HWU HOT WATER UNIT LB LETTER BOX MF ALUMINIUM FEATURE BLADE

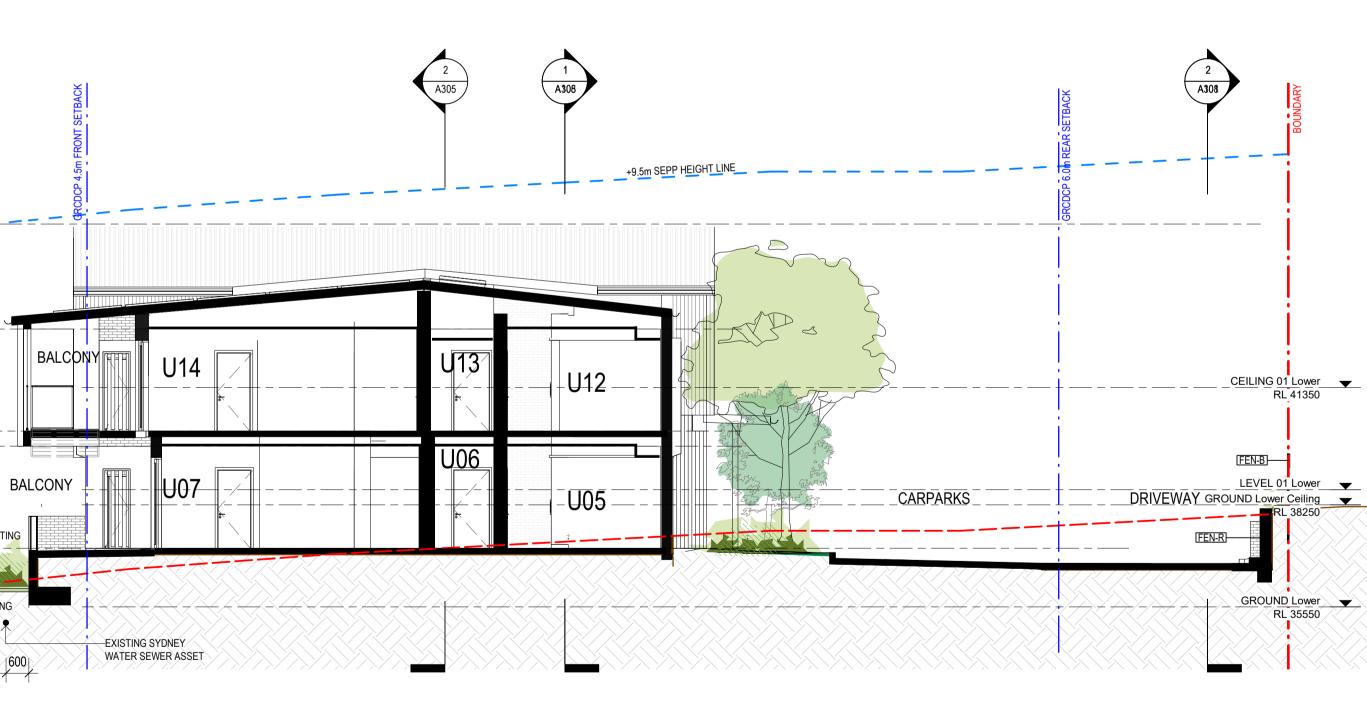
ON SITE DETENTION TANK WFC1 FIBRE CEMENT CLADDING PERSONAL OPEN SPACE WFC2 FIBRE CEMENT INFILL RIDGE BARGE CAPPING WMC METAL CLADDING ROOF RIDGE WS WHEEL STOP OSD POS RBC RR RWG RWT ROOF RIDGE GUTTER RAIN WATER TANK SOLAR PANELS SP TOP OF KERB TOP OF WALL BRICK WALL TOK TOW WBF

600











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GROUND Upper 🚽 RL 37100



Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP10803 Sheet Title **SECTIONS - Short**

Date:

20-10-23 As Noted Drawn: Author Checked Revision Checker G Authorised Drawing No.

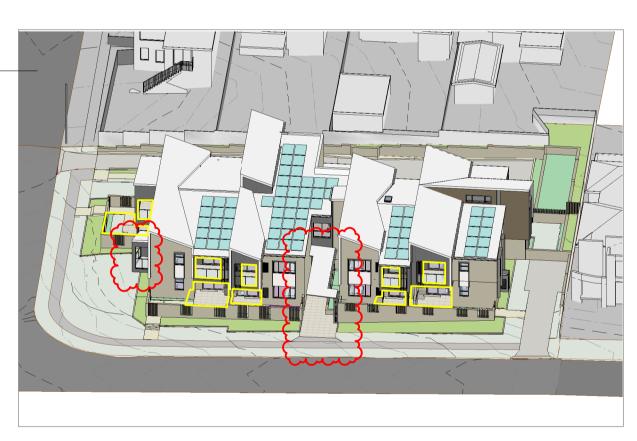
Scale Project No. 22009 Approver A306



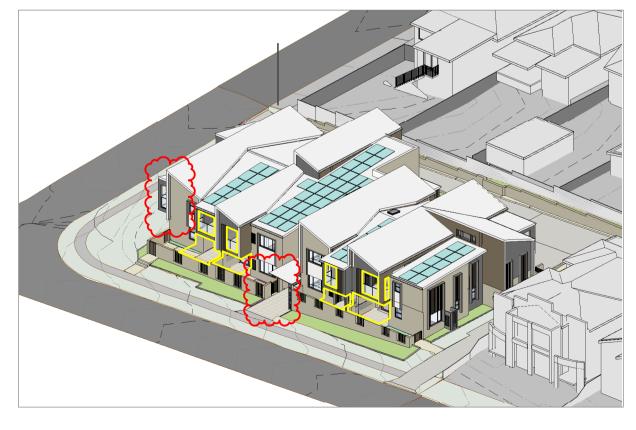
1 3D orthographic view June 9am



5 3D orthographic view June 11am



9 3D orthographic view June 1pm



13 3D orthographic view June 3pm

v Date AMENDEMENTS Ckd LEGEND

10-02-23Prelim Part 5 Update06-04-23Part C Issue29-06-23Part 5 LAHC Comments20-10-23PART 5 UPDATE



2 3D orthographic view June 930am



6 3D orthographic view June 1130am



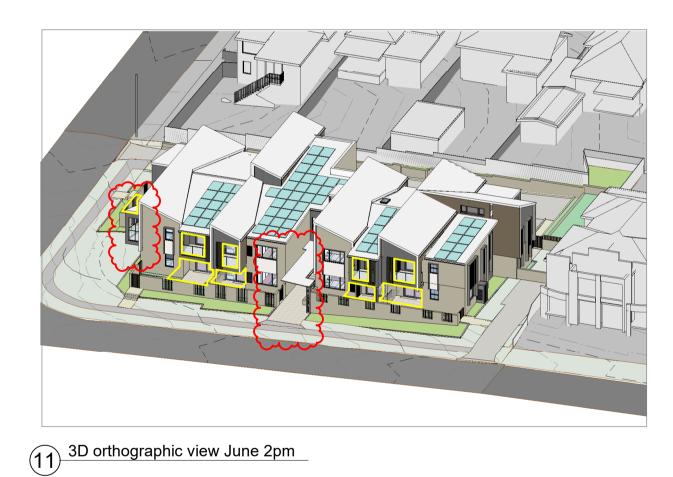
10 3D orthographic view June 130pm

	9am	9:30am
Unit 1		
Unit 2		\checkmark
Unit 3	\checkmark	\checkmark
Unit 4		
Unit 5		
Unit 6		
Unit 7		
Unit 8		\checkmark
Unit 9		
Unit 10	\checkmark	\checkmark
Unit 11		
Unit 12		
Unit 13		
Unit 14		

View From Sun Study Table



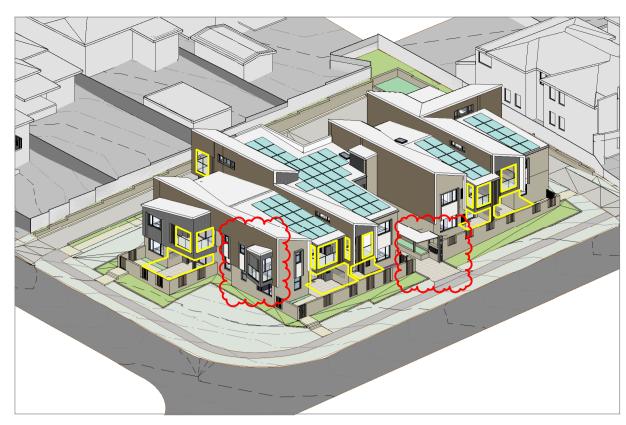
10am	10:30am	11am	11:30am	12pm	12:30pm	1pm	1:30pm	2pm	2:30pm	3pm
	\checkmark									
\checkmark										
\checkmark	\checkmark	\checkmark	\checkmark							
		\checkmark								
\checkmark										
\checkmark	\checkmark		\checkmark							
\checkmark										
\checkmark	\checkmark	\checkmark	\checkmark	\checkmark						
		\checkmark								
\checkmark										



7 3D orthographic view June 12pm



3 3D orthographic view June 10am

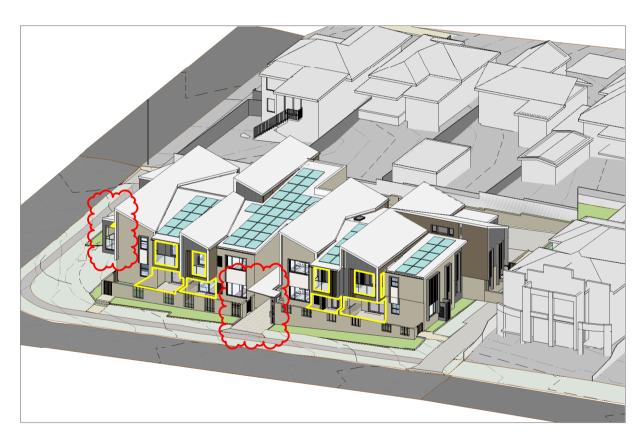




4 3D orthographic view June 1030am



8 3D orthographic view June 1230pm



(12) 3D orthographic view June 230m

ht Access to Living rooms/ POSs ordance with LAHC Deemed to Satisfy Compliance Part B4.2a

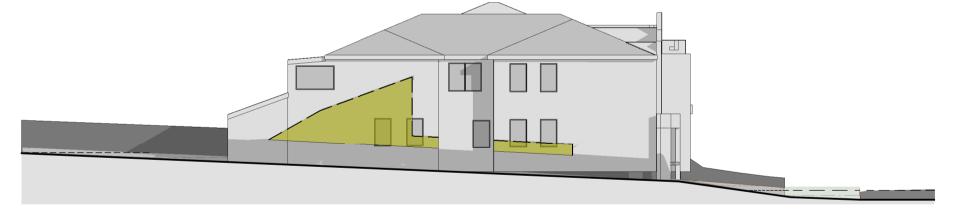
- COMPLIANT
- NON COMPLIANT

70% ACHIEVED = COMPLIANCE ACHIEVED





1 TrueNorth Winter 9am Shadow Diagram 1 : 200

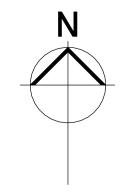


2 19 Charles St Elevation- Winter 9am

PROPOSED BUILDING SHADOWS

PROPOSED BUILDING SHADOWS

EXISTING BUILDING TO BE DEMOLISHED





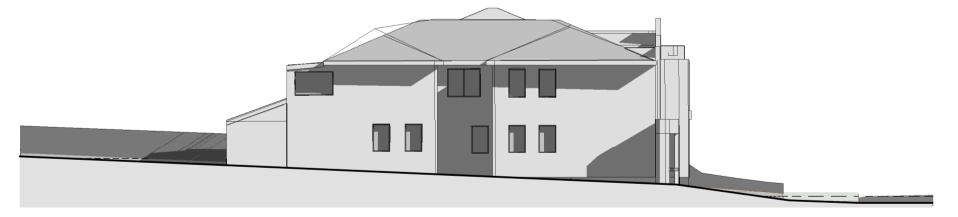
CLIENT





1 TrueNorth Winter 12pm Shadow Diagram



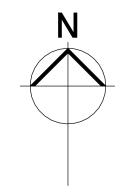


2 19 Charles St Elevation- Winter 12pm

PROPOSED BUILDING SHADOWS

PROPOSED BUILDING SHADOWS

EXISTING BUILDING TO BE DEMOLISHED





CLIENT



Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080361) Sheet Title SHADOW DIAGRAMS - WINTER Authorised Drawing No.

Date: Author Checker C

Scale 20-10-23 As Noted Drawn: Project No. 22009 Checked Revision





1 TrueNorth Winter 3pm Shadow Diagram 1 : 200

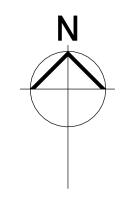


4 34 Bungalow Road Elevation - Winter 3pm

PROPOSED BUILDING SHADOWS

PROPOSED BUILDING SHADOWS

EXISTING BUILDING TO BE DEMOLISHED





CLIENT



Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080361 Sheet Title SHADOW DIAGRAMS - WINTER Authorised Drawing No.

Date: Author Checker C

Scale 20-10-23 As Noted Drawn: Project No. 22009 Checked Revision Approver A903