

DEVELOPMENT DATA	
JOB REFERENCE	BGZ3K
LOCALITY / SUBURB	RIVERWOOD, PEAKHURST
STREET ADDRESS	7-9 Brighton Road & 21 Charles Street
LOT NUMBER & DEPOSITED PLAN	Lots 14 & 15 in DP 35818 and Lot 10 in DP 1080361 (nt purposes only)
SITE AREA (sqm)	1926.1 m2 – sourced from Survey
NUMBER OF EXISTING LOTS	3
PROPOSED GFA (sqm)	1121
NUMBER OF DWELLINGS	14

DWELLINGS	UNIT NO.	TYPE	NO. OF BEDROOMS	Internal Area	POS required	POS proposed
				sqm	sqm	sqm
	1	Ground	1	56	15	25
	2	Ground	2	73+ec*	15	36
	3	Ground	2	74+ec*	15	25
	4	Ground	1	55	15	18
	5	Ground	2	77	15	36
	6	Ground	2	74+ec*	15	25
	7	Ground	1	54	15	17
	8	Level 1	1	56	8	8
	9	Level 1	2	73+ec*	10	10
	10	Level 1	2	74+ec*	10	11
	11	Level 1	1	55	8	10
	12	Level 1	2	77	10	12
	13	Level 1	2	74+ec*	10	10
	14	Level 1	1	56	8	8
	LOBBY LG	Ground Lower		33		
	LOBBY UG	Ground Upper		23		
	LOBBY L1	Level 1 Lower		28		
	LOBBY U1	Level 1 Upper		24		
	TOTAL			1036		

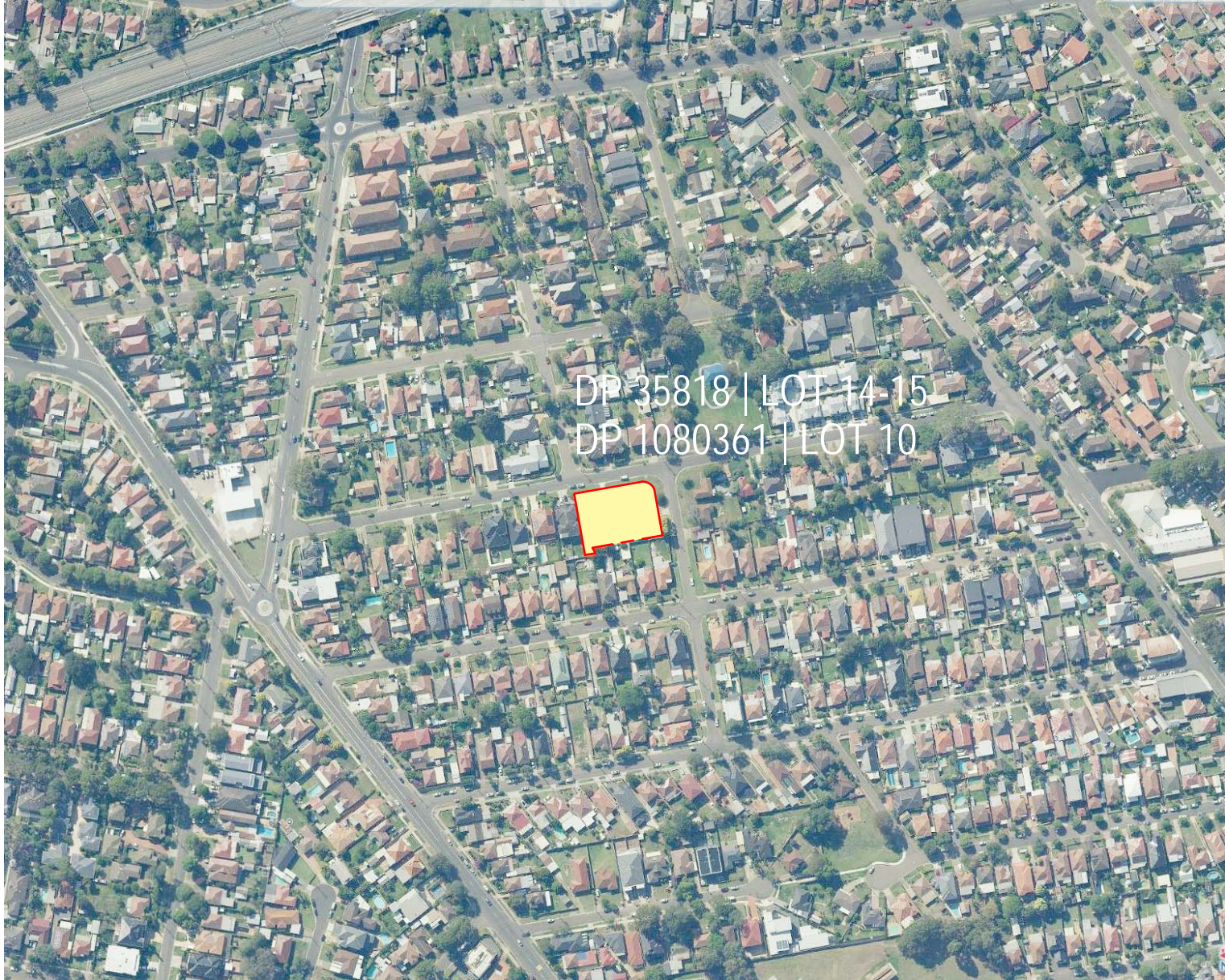
		CONTROL	REQUIREMENT	PROPOSED
BUILDING HEIGHT		Housing SEPP (part 84, 108)	9.5m	9m at highest point
		GRLEP 2021	8.5m	
PARKING	General	Housing SEPP (part 18 & 42)	1B - 0.4 carpace 2B - 0.5 carspace	7 carspaces
	3.8m width	Housing SEPP	10% of total carspaces	1 carspace in 7
	Accessible	Housing SEPP	1 in 5 units	3 carspaces in 7
FSR		Housing SEPP	0.5:1	0.58:1
		GRLEP 2021	0.55:1	
FRONT SETBACK		Housing SEPP	generally inline with existing	4.5m
		GRDCP Part 6.2.4 MDH	4.5m to main facade. 5.5m to front of parking wall/ secondary frontage	
SIDE SETBACKS		GRDCP Part 6.2.4 MDH	4m FOR MDH	7.2m
REAR SETBACKS		GRDCP Part 6.2.4 MDH	6m	8.7m
DEEP SOIL ZONE		Housing SEPP	15% OF SITE AREA. (288.92m ²) 65% at rear (187.8m ²) min. 3m DIMENSION	457m ² 192m ² yes
LANDSCAPE		Housing SEPP	35 sqm PER DWELLING (490m ²)	670m ²
SOLAR COMPLIANCE		Housing SEPP	70% of dwellings have 3 hours sunlight between 9am and 3pm in mid-Winter i. Living Rooms ii. Private open space	70% / 10 units 70% / 10 units
LAHC* - Development data for LAHC new housing supply. For details refer to current version of LAHC Design Requirements				
EC* - Entry Corridor				
AREA* - Dwelling floor area includes internal walls but excludes external walls				
POS* - Private Open Space - In compliance with SLUDG				
Type* - E.g. Universal / Non-Universal				
Solar Orientation* - % with min. 3 hours of direct sunlight into living areas and private open space				

SENIORS HOUSING DEVELOPMENT

7-9 Brighton Road Peakhurst, 21 Charles Street Riverwood

NATHERS

NCC 2022 NatHERS Thermal Performance Specification - Riverwood			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	R1.7	Med - SA 0.475 - 0.70	As per the elevations
Metal cladding	R2.5	Med - SA 0.475 - 0.70	As per the elevations
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Single skin brick	None	Internally inside units	
Cavity brick, plasterboard	None	Party walls between units	
Cavity brick, plasterboard	None	Shared walls with lobby/stairs/lift	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground floor units	
Concrete	None	All units with adjoining unit below	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Unit above	
Plasterboard	R3.5	Level 1 units	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (unvented roof space)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed + Double hung (Throughout)	4.8	0.59	e.g. Single glazed high performing low-e clear Aluminium frame
Awning (Throughout)	4.8	0.51	e.g. Single glazed high performing low-e clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
na	na	na	
Ceiling fan			
Size	Location	Comments	
1200mm in diameter	All bedrooms + Living	na	



SITE

BASIX Commitments Summary

WATER

Rainwater Tank	6000L central tank
Rainwater-Re-use	Rainwater used for garden irrigation on common landscaped area
Star Rating	4 star toilet suite, 6 star taps throughout, 4 star showerheads with flowrate >4.5 but <=6L/min
Planting	Indigenous or low water use species of vegetation min 242m ²

ENERGY

Lighting	Provide dedicated energy efficient lighting (fluoros, compact fluoros & LEDs) throughout
Ceiling Fans	Ceiling fans required in each living room and at least one bedroom
Appliances	Electric cooktop & electric oven, well ventilated fridge space
Mechanical Ventilation	Bathroom/ Kitchen/ Laundry - individual fan, ducted to facade or roof. Manual switch on/ off
Clothes Lines	Provide sheltered clothesline
Lift	Gearless Traction with V V V F motor. LED light connected to lift call button
Hot Water System	Electric Heat Pump, 21 to 25 STCs
Alternative Energy Source	Photovoltaic System - rated electrical output min 18.6 peak kW

DRAWING LIST

A000	COVER PAGE & DRAWING LIST	H	16-01-24
A101	SITE ANALYSIS	D	20-10-23
A102	CONTEXT BLOCK ANALYSIS	E	20-10-23
A103	PATH TO BUS STOP STUDY - BONDS Rd	E	20-10-23
A104	PATH TO BUS STOP STUDY - BROADARROW Rd	C	20-10-23
A105	DEMOLITION PLAN	G	20-10-23
A106	CUT AND FILL PLAN	D	20-10-23
A107	SEDIMENT EROSION & CONTROL PLAN	B	20-10-23
A108	EXCAVATION CALCULATIONS	B	20-10-23
A109	PERSPECTIVE SKETCH VIEWS	A	20-10-23
A200	SITE PLAN	J	20-10-23
A201	GROUND FLOOR PLAN	I	20-10-23
A202	FIRST FLOOR PLAN	I	20-10-23
A203	ROOF PLAN	I	20-10-23
A301	ELEVATIONS NORTH, SOUTH	J	20-10-23
A302	ELEVATIONS EAST, WEST & MATERIAL SCHEDULE	J	20-10-23
A305	SECTIONS - Long	G	20-10-23
A306	SECTIONS - Short	G	20-10-23
A800	VIEW FROM THE SUN STUDY	D	20-10-23
A901	SHADOW DIAGRAMS - WINTER 9AM	C	20-10-23
A902	SHADOW DIAGRAMS - WINTER 12PM	C	20-10-23
A903	SHADOW DIAGRAMS - WINTER 3pm	C	20-10-23

Rev	Date	AMENDMENTS	Ckd	Legend
A	09-12-22	Stage B		
B	24-01-23	Prim to Access		
C	10-02-23	Prelim Part 5 Update		
D	06-04-23	Part C Issue		
E	16-05-23	Part C Issue		
F	29-06-23	Part 5 LAHC Comments		
G	20-10-23	PART 5 UPDATE		
H	16-01-24	3D RENDER UPDATE		

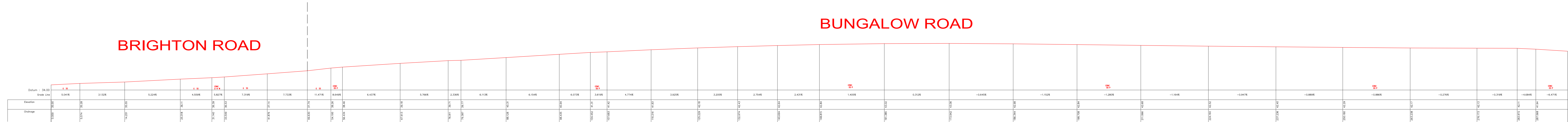


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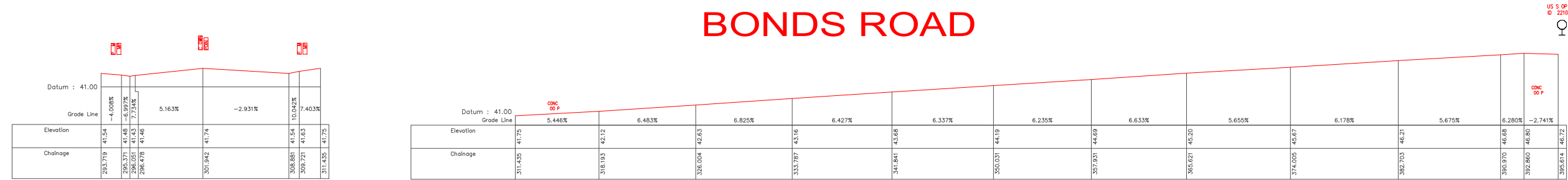
SARM

Architects

Project Name BGZ3K Seniors Living Units 7-9 Brighton Road PEAKHURST 21 Charles Street RIVERWOOD (Lots 14 & 15 in DP35818, Lot 10 in DP1080361)		Date: 16-01-24	Scale: As Noted
Sheet Title COVER PAGE & DRAWING LIST		Drawn: KH	Project No. 22009
nominated architects: Stephen Arlorn reg. no. 7645 Robert McNamara reg. no. 7271		Checked SA	Revision H
		Authorised SA	Drawing No. A000

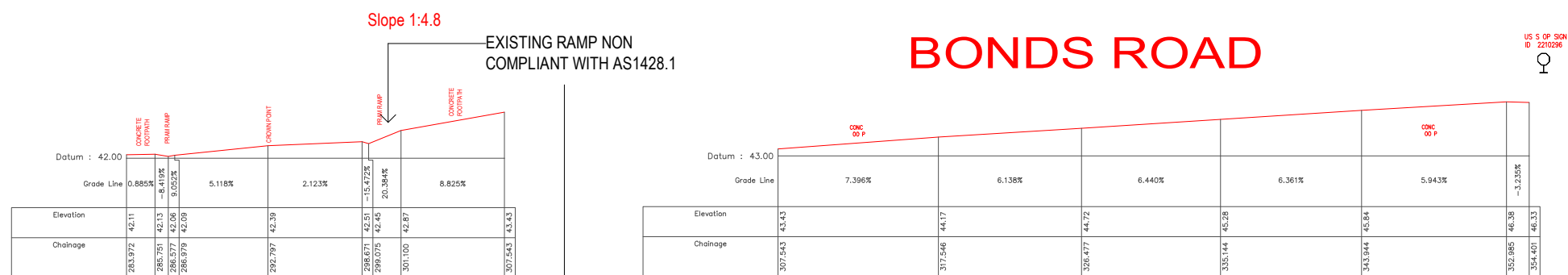


6 LONGITUDINAL SECTION - LONG SECTION 1



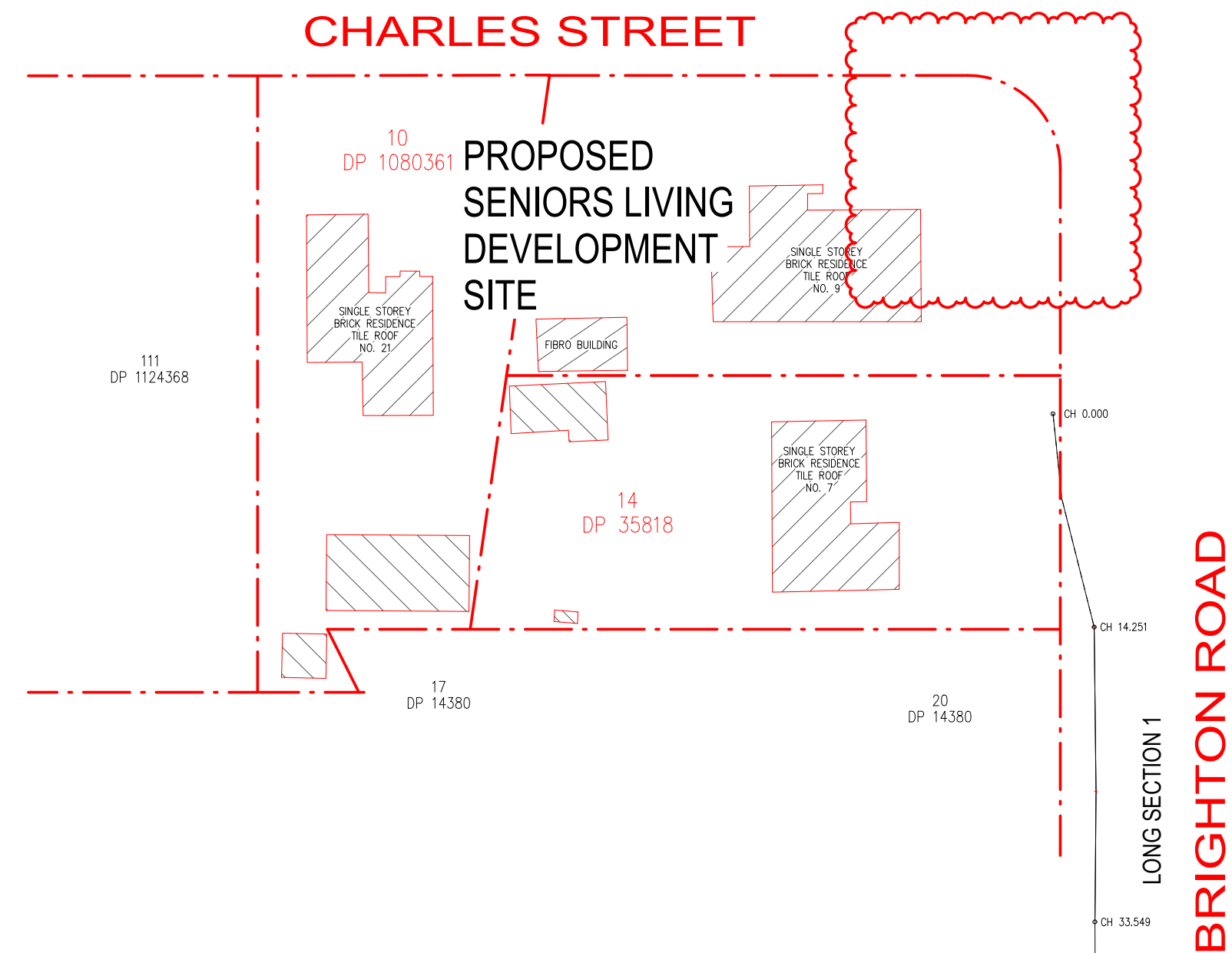
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5 LONGITUDINAL SECTION - LONG SECTION 2

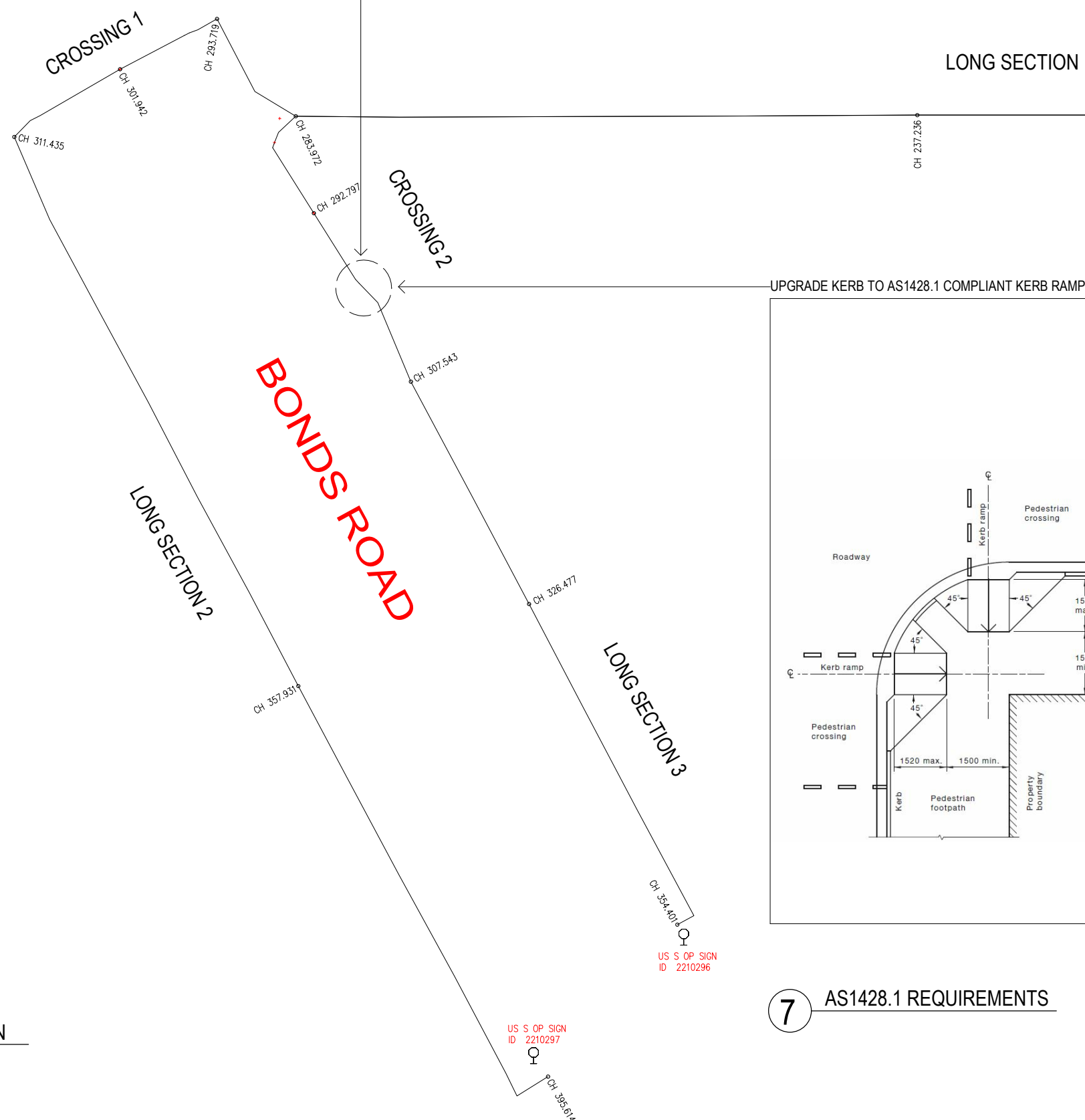


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3 LONGITUDINAL SECTION - LONG SECTION 3

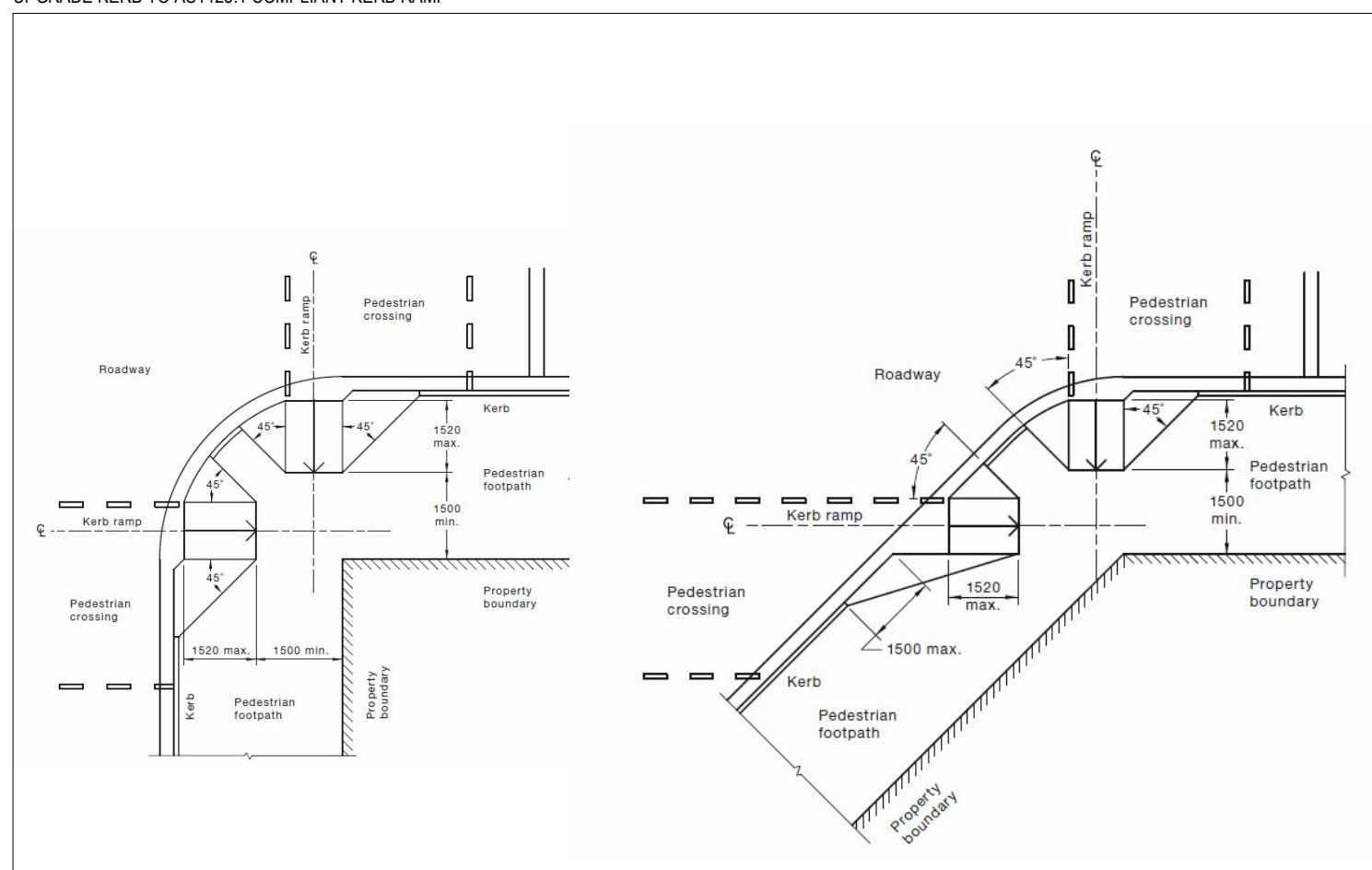


FOOTPATH TO BE INSTALLED ALONG LONG SECTION 1. NO EXISTING FOOTPATH. TO BE INSTALLED TO COUNCIL AND AS1428.1 REQUIREMENTS



1 LOCATION PLAN

7 AS1428.1 REQUIREMENTS



BUS ANALYSIS
BROADARROW ROAD SOUTHERN SIDE
BUS 940 towards Riverwood Station
- EVERY 30 MINS
BROADARROW ROAD NORTHERN SIDE
BUS 940 towards Hurstville Westfield via Narwee and Penshurst Station
- EVERY 30 MINS
BONDS ROAD EASTERN SIDE
BUS 944 towards Mortdale Station
- EVERY 30 MINS.
BUS 945 towards Westfield Hurstville via Mortdale and Penshurst Station
- EVERY 30 MINS
BONDS ROAD WESTERN SIDE
BUS 944 towards Bankstown Central via Riverwood Station
- EVERY 30 MINS
BUS 945 towards Bankstown Central via Riverwood Station
- EVERY 30 MINS

FOOTPATH TO BUS STOP ANALYSIS

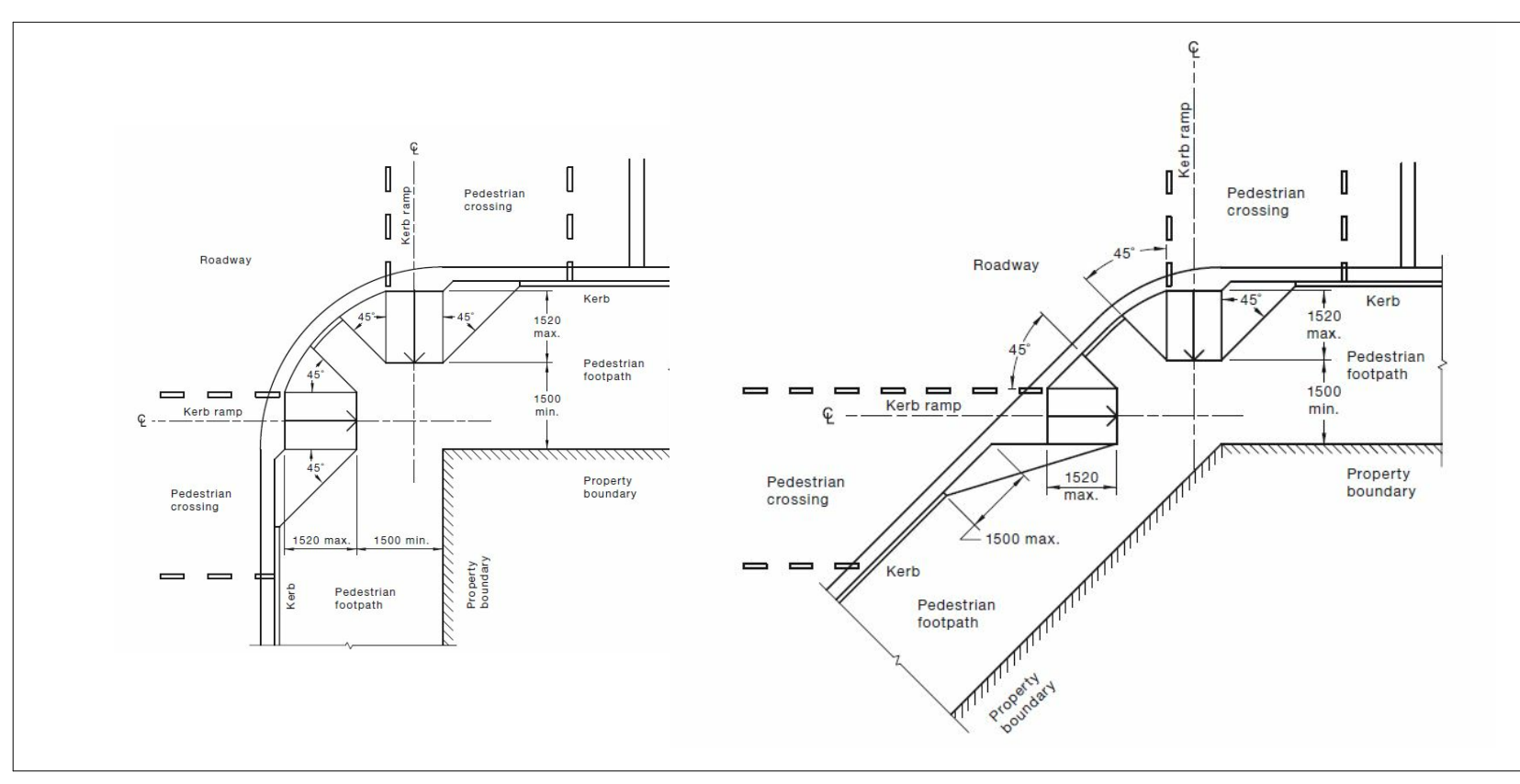
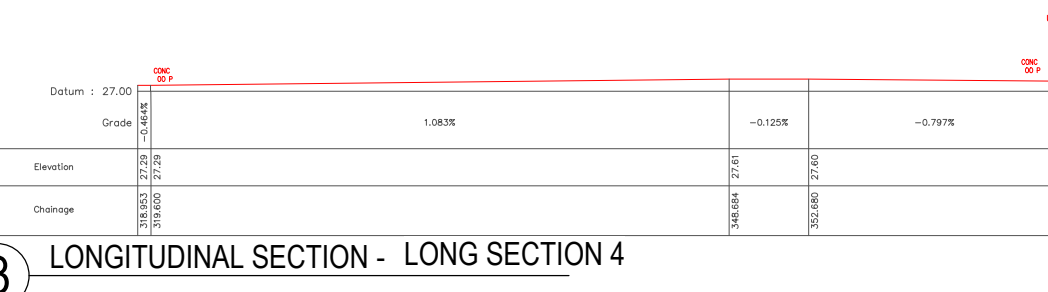
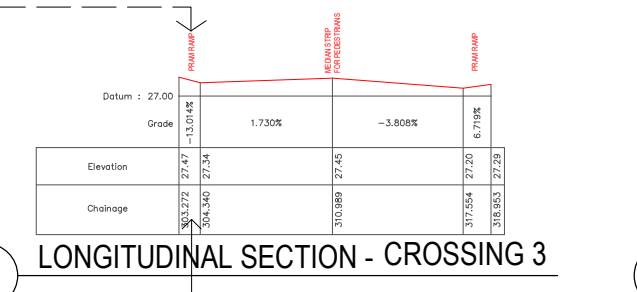
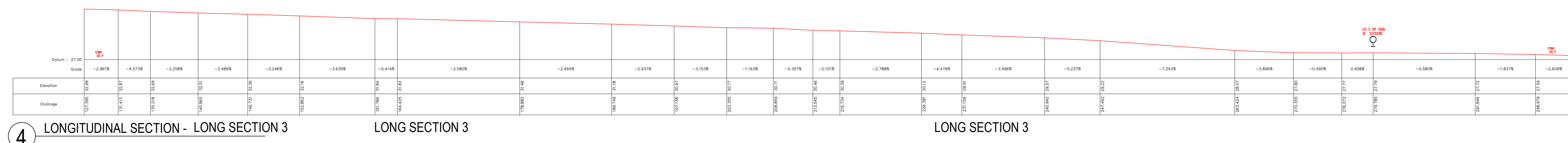
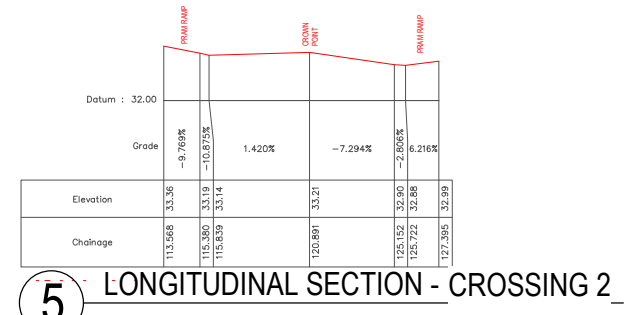
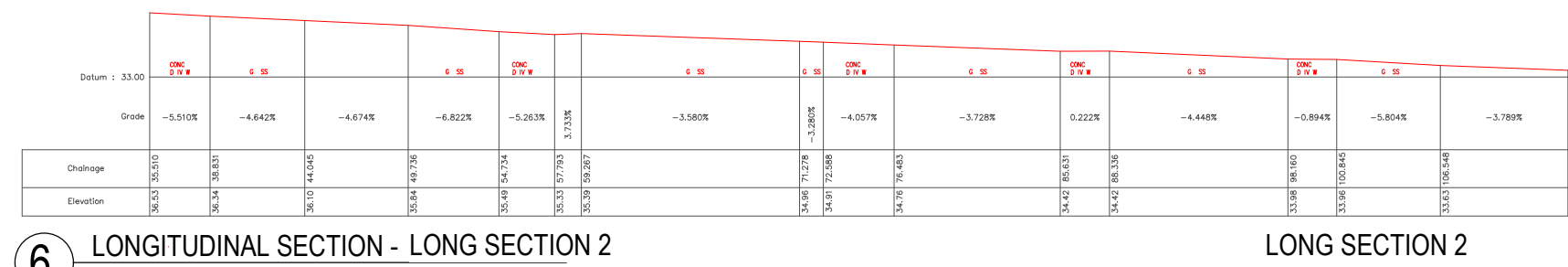
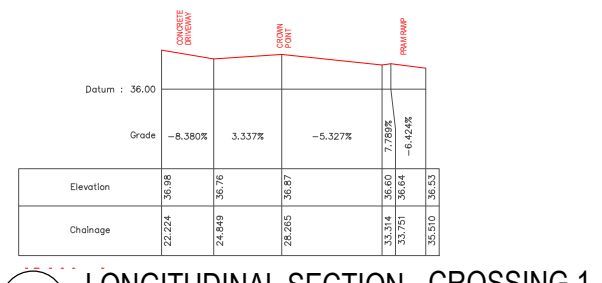
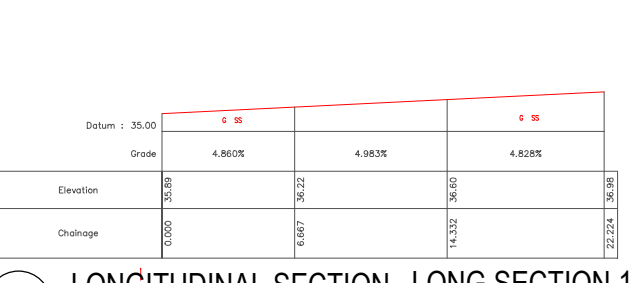
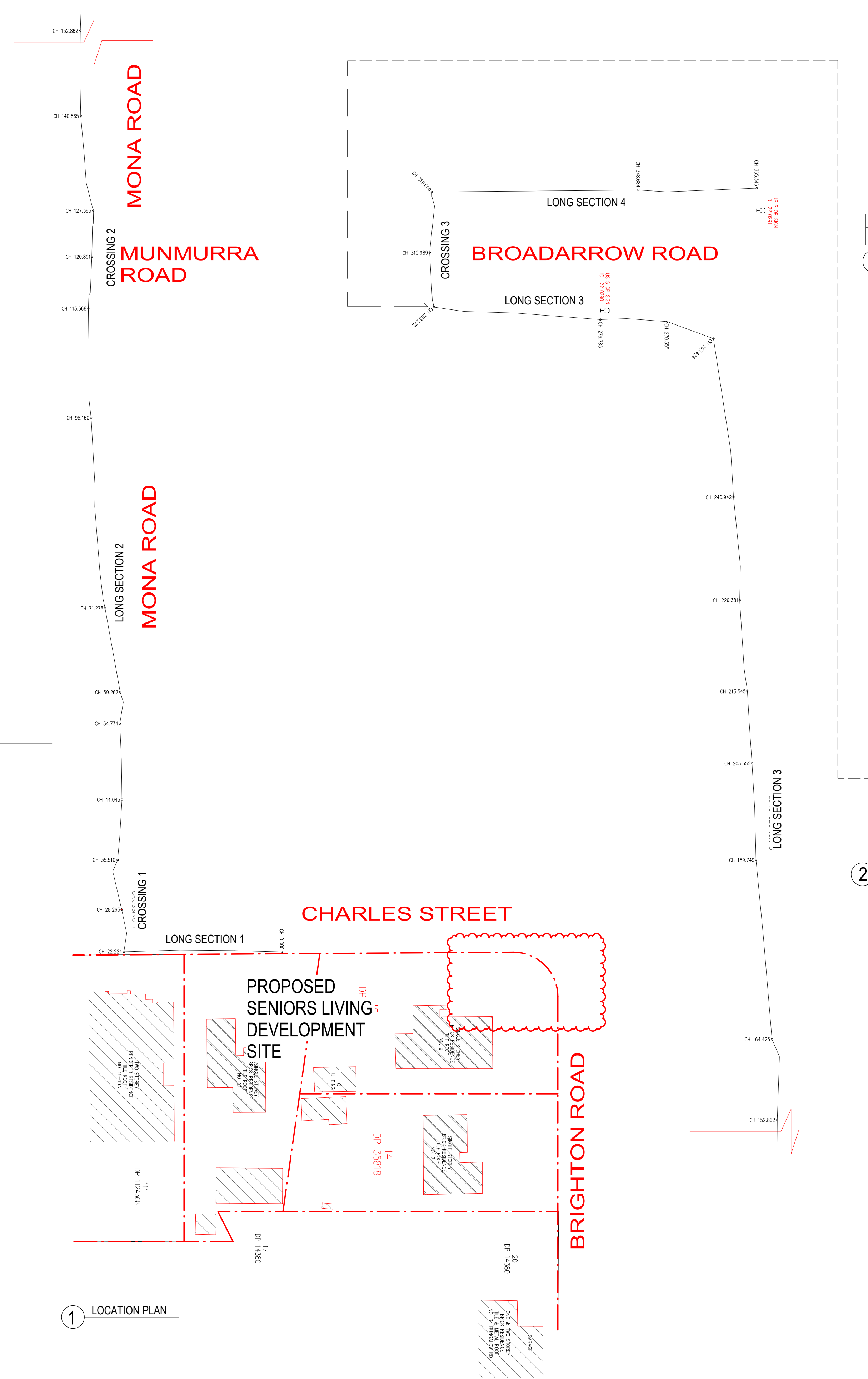
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(i) 1:12 FOR max LENGTH 15m AT A TIME OR

(ii) 1:10 FOR max LENGTH OF 5m AT A TIME OR

(iii) 1:8 FOR A max LENGTH OF 1.5m AT A TIME.

Rev	Date	AMENDMENTS	Ckd
A	24-01-23	Prim to Access	
B	10-02-23	Prelim Part 5 Update	
C	06-04-23	Part C Issue	
D	16-05-23	Part C Issue	
E	20-10-23	PART 5 UPDATE	



BUS ANALYSIS
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BUS 940 towards Riverwood Station - EVERY 30 MINS
BROADARROW ROAD NORTHERN SIDE
BUS 940 towards Hurstville Westfield via Narwee and Penshurst Station - EVERY 30 MINS
BONDS ROAD EASTERN SIDE
BUS 944 towards Mortdale Station - EVERY 30 MINS BUS 945 towards Westfield Hurstville via Mortdale and Penshurst Station - EVERY 30 MINS
BONDS ROAD WESTERN SIDE
BUS 944 towards Bankstown Central via Riverwood Station - EVERY 30 MINS BUS 945 towards Bankstown Central via Riverwood Station - EVERY 30 MINS
FOOTPATH TO BUS STOP ANALYSIS
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Rev	Date	AMENDMENTS	Ckd
A	06-04-23	Part C Issue	
B	16-05-23	Part C Issue	
C	20-10-23	PART 5 UPDATE	

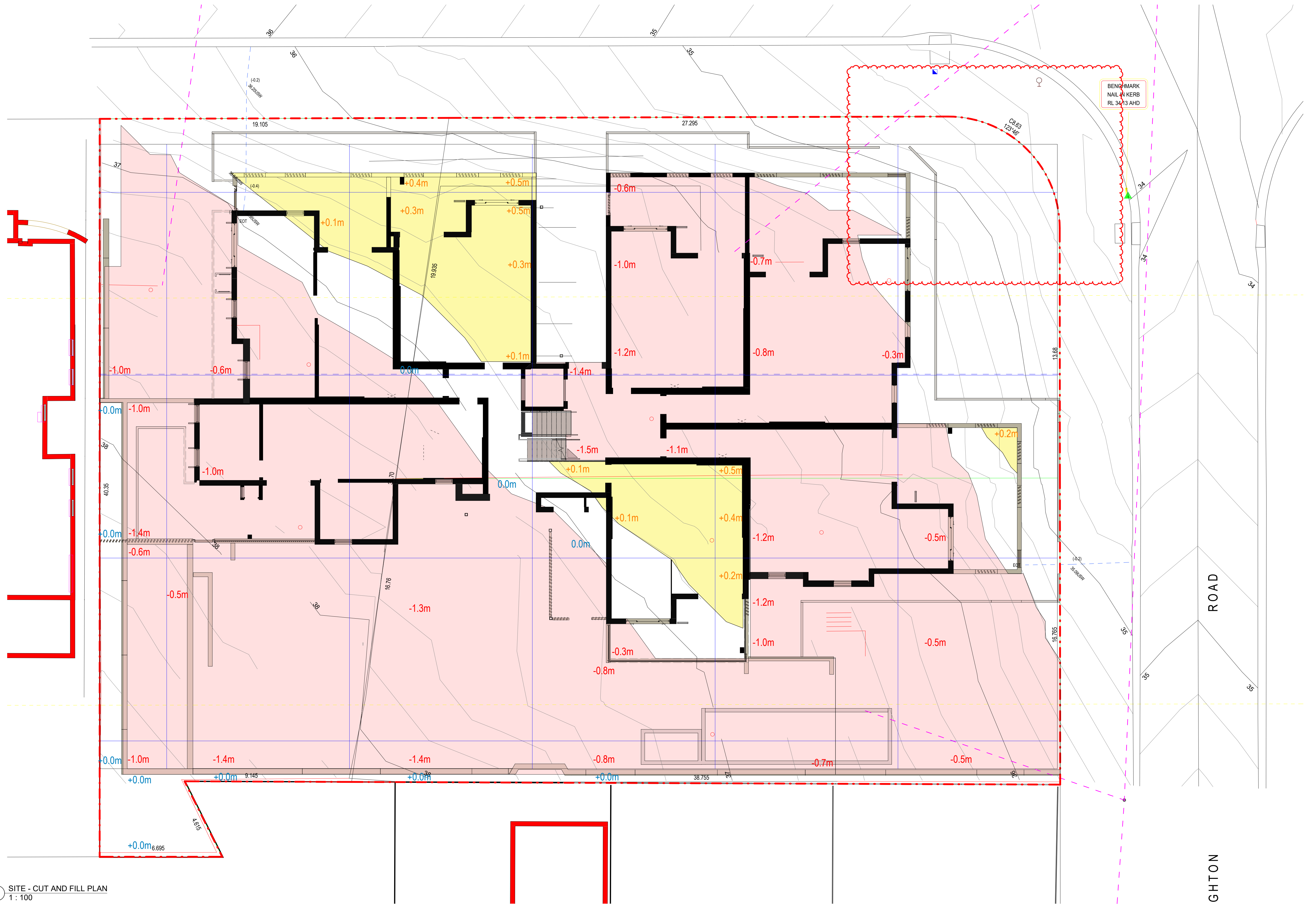


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Project Name
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)

Path to Bus Stop Study -
BROADARROW Rd

Date: 20-10-23
Scale: As Noted
Drawn: Project No. 22009
Author: Revision
Checked: Drawing No.
Checker: C
Authorised: Approver



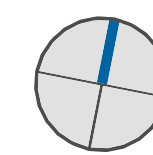
1 SITE - CUT AND FILL PLAN
1 : 100

Rev	Date	AMENDMENTS	Ckd	Legend
A	10-02-23	Prelim Part 5 Update		
B	06-04-23	Part C Issue		
C	16-05-23	Part C Issue		
D	20-10-23	PART 5 UPDATE		

CUT - varies
FILL - varies



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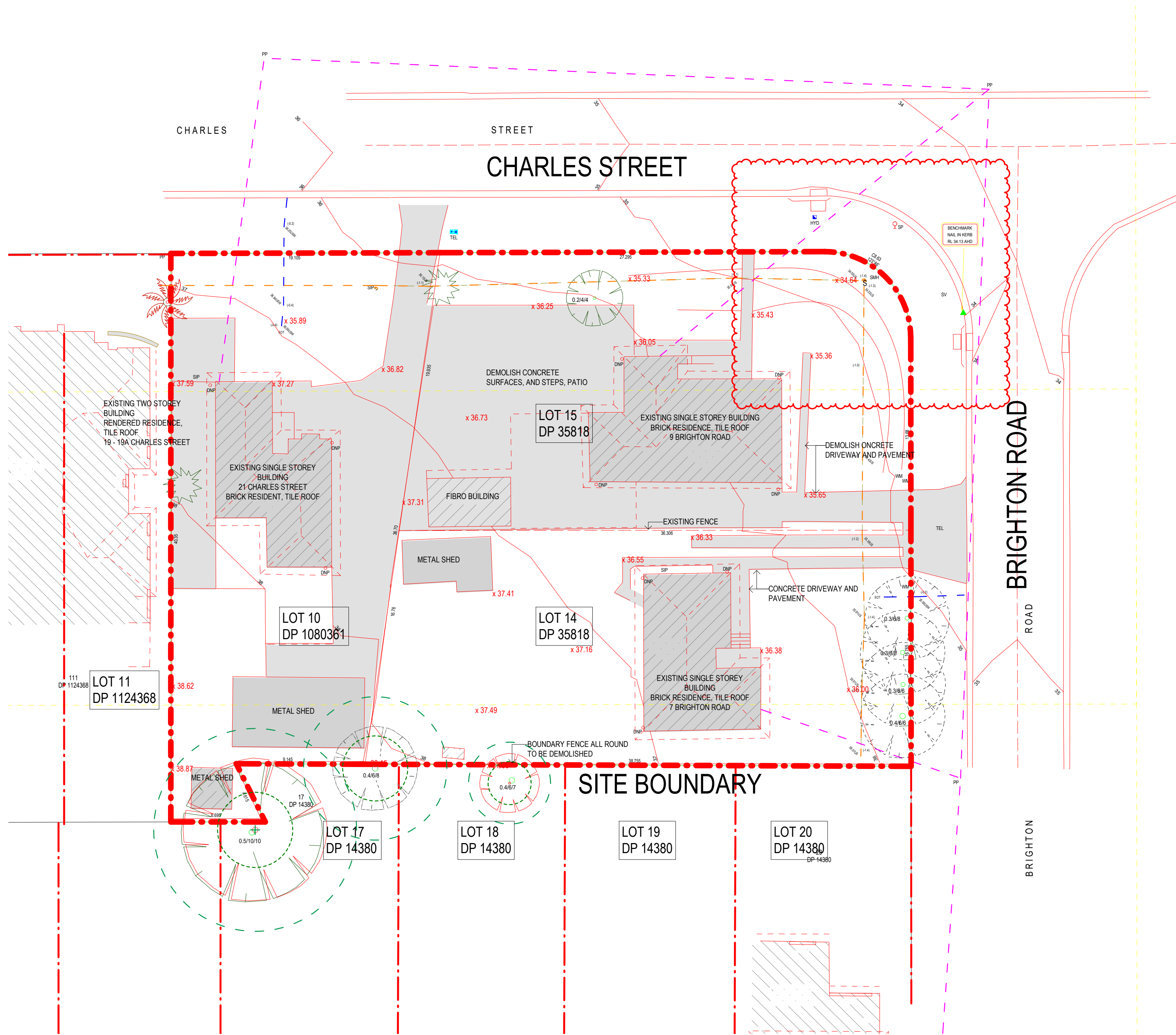
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ABN 26 000 663 623
nominated architects:
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reg. no. 7271



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7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
Sheet Title
CUT AND FILL PLAN

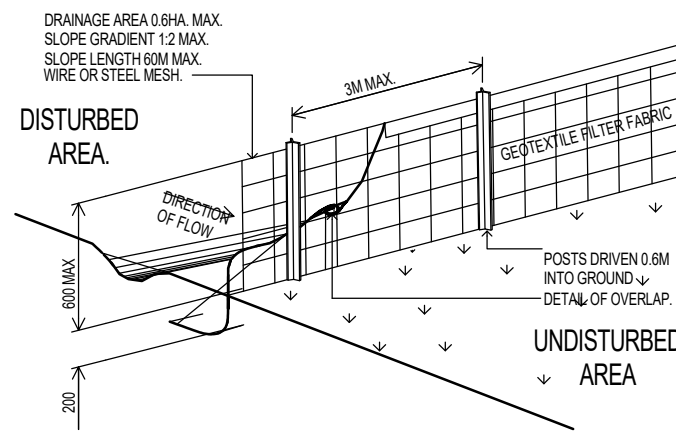
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20-10-23
Drawn:
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Author:
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Checker:
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Authorised:
D
Approver:
D

Scale:
As Noted
Project No.
22009
Revision
D
Drawing No.
A106

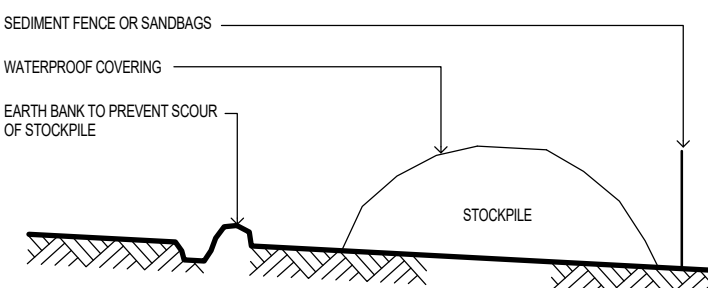


1 EROSION & SEDIMENT CONTROL PLAN
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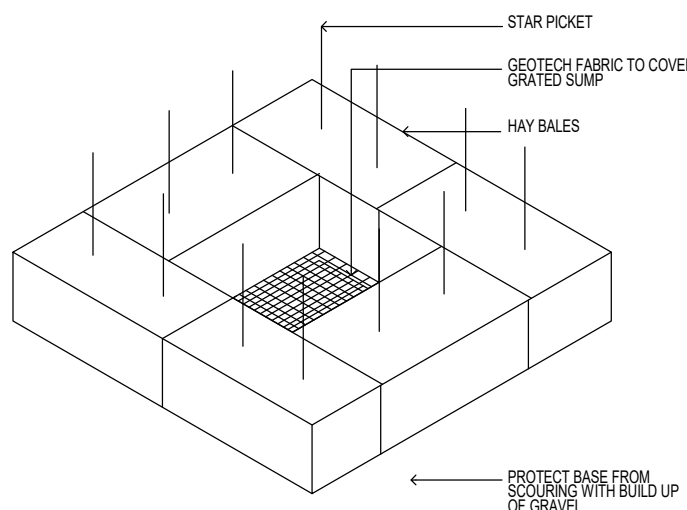
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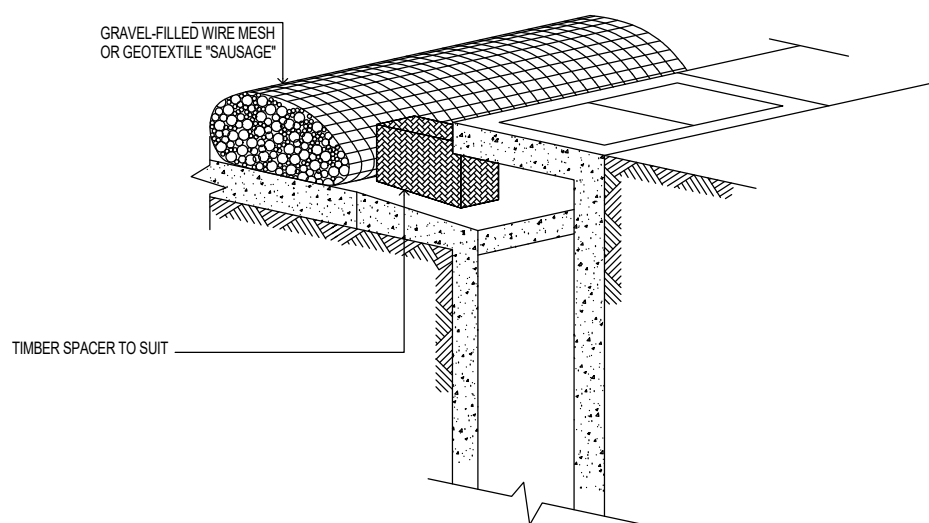
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N.T.S.



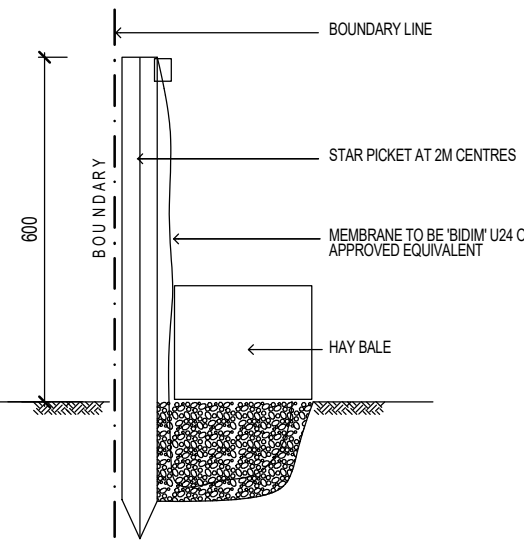
MATERIALS STOCKPILE
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STORMWATER PIT INLET SEDIMENT TRAP
N.T.S.



PORTABLE GRAVEL KERB
INLET SEDIMENT TRAP
N.T.S.

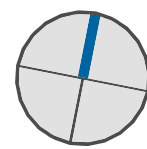


SILT FENCE DETAIL
N.T.S.

Rev	Date	AMENDMENTS	Ckd
A	16-05-23	Part C Issue	
B	20-10-23	PART 5 UPDATE	



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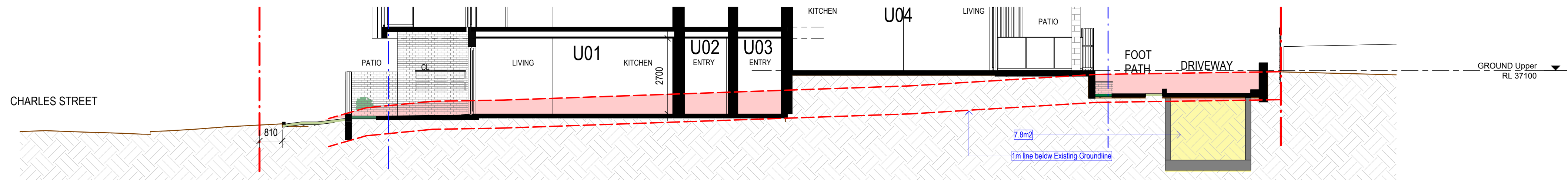
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nominated architects:
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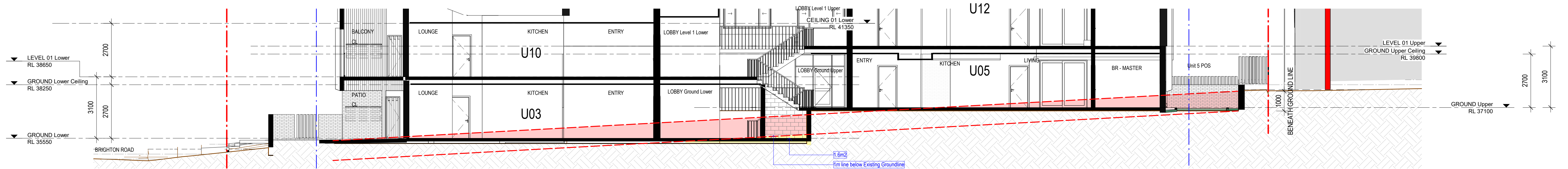
Project Name
BG23K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title
SEDIMENT EROSION & CONTROL
PLAN

Date:
20-10-23
Drawn:
Author
Checked
Checker
Authorised
Approver

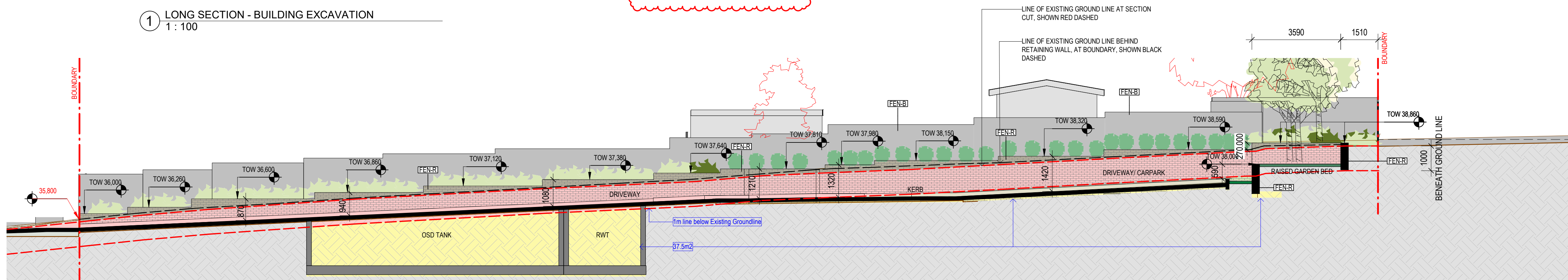
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Project No.
22009
Revision
B
Drawing No.
A107



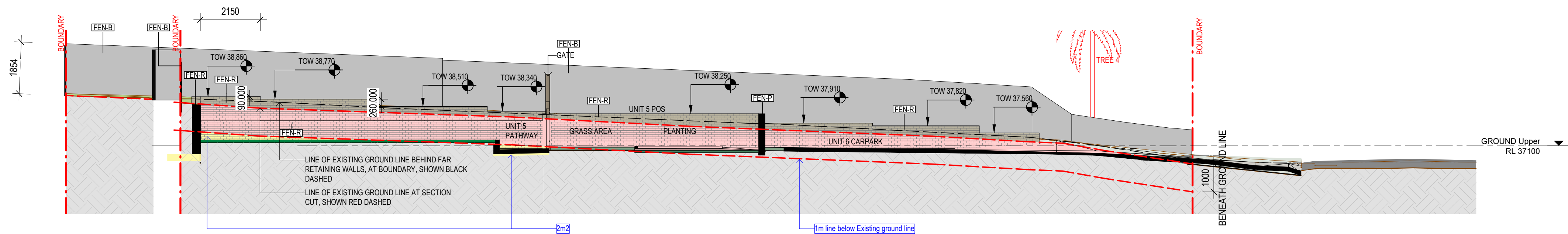
④ SHORT SECTION - BUILDING EXCAVATION
1 : 100



① LONG SECTION - BUILDING EXCAVATION
1 : 100



② SECTION - SOUTH DRIVEWAY EXCAVATION
1 : 100



③ SECTION - WEST EXCAVATION
1 : 100

ADDITIONAL PAGE ADDED

Rev	Date	AMENDMENTS	Ckd
A	09-10-23	For Information - Council	
B	20-10-23	PART 5 UPDATE	



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21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title
EXCAVATION CALCULATIONS

Date:
20-10-23
Drawn:
Author
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Checker
Approved
Approver
Scale
As Noted
Project No.
22009
Revision
B
Drawing No.
A108



① PERSPECTIVE VIEW - Street Corner

ADDITIONAL PAGE ADDED



② PERSPECTIVE VIEW - Charles St Entry

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A	20-10-23	PART 5 UPDATE	



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(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title

PERSPECTIVE SKETCH VIEWS

Date: 20-10-23
Drawn: As Noted
Author: Project No. 22009
Checked: Revision A
Checker: Authorised
Approver: Drawing No. A109

PART 5

CHARLES STREET

BRIGHTON ROAD

ROAD

BRIGHTON ROAD

19A CHARLES STREET

1 GROUND FLOOR PLAN
1:100

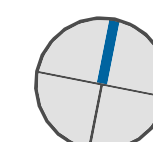
Rev	Date	AMENDMENTS	Ckd	Legend
A	01-11-22	Option 2 - REVISED		
B	09-12-22	Stage B		
C	24-01-23	Prim to Access		
D	02-02-23	Prelim to Consultants		
E	10-02-23	Prelim Part 5 Update		
F	06-04-23	Part C Issue		
G	29-06-23	Part 5 LAHC Comments		
H	10-10-23	Part 5 UPDATE		
I	20-10-23	PART 5 UPDATE		

EXISTING NATURAL GROUND LINE	APS	ALUMINIUM BATTENS	POS	PERSONAL OPEN SPACE
BUILDING SETBACK/HEIGHT LIMITS	CL	CLOTHES LINE	RBC	RIDGE BARGE CAPPING
1br UNITS	COL	COLUMN	RR	ROOF RIDGE
2br UNITS	DP	DOWNPIPE	RWC	GUTTER
AS1428.1 COMPLIANT	FEN-B	FENCE - BOUNDARY (1800mm)	RWT	RAIN WATER TANK
DOOR CLEARANCE	FEN-P	FENCE - PRIVATE OPEN SPACE (1500mm)	SP	SOLAR PANELS
STRIP DRAINS	FEN-R	FENCE - RETAINING WALL (1200mm)	TR	THRESHOLD RAMP
FLUSH THRESHOLDS AT DOOR OPENINGS	HWU	HOT WATER UNIT	TOK	TOP OF KERB
	LB	LETTER BOX	TOW	TOP OF WALL
	LV	FIXED ALUMINIUM VENTILATION LOUVER	WS	WHEEL STOP
	OSD	ON SITE DETENTION TANK		

*FENCE HEIGHT VARIES TO NATURAL GROUND LINE



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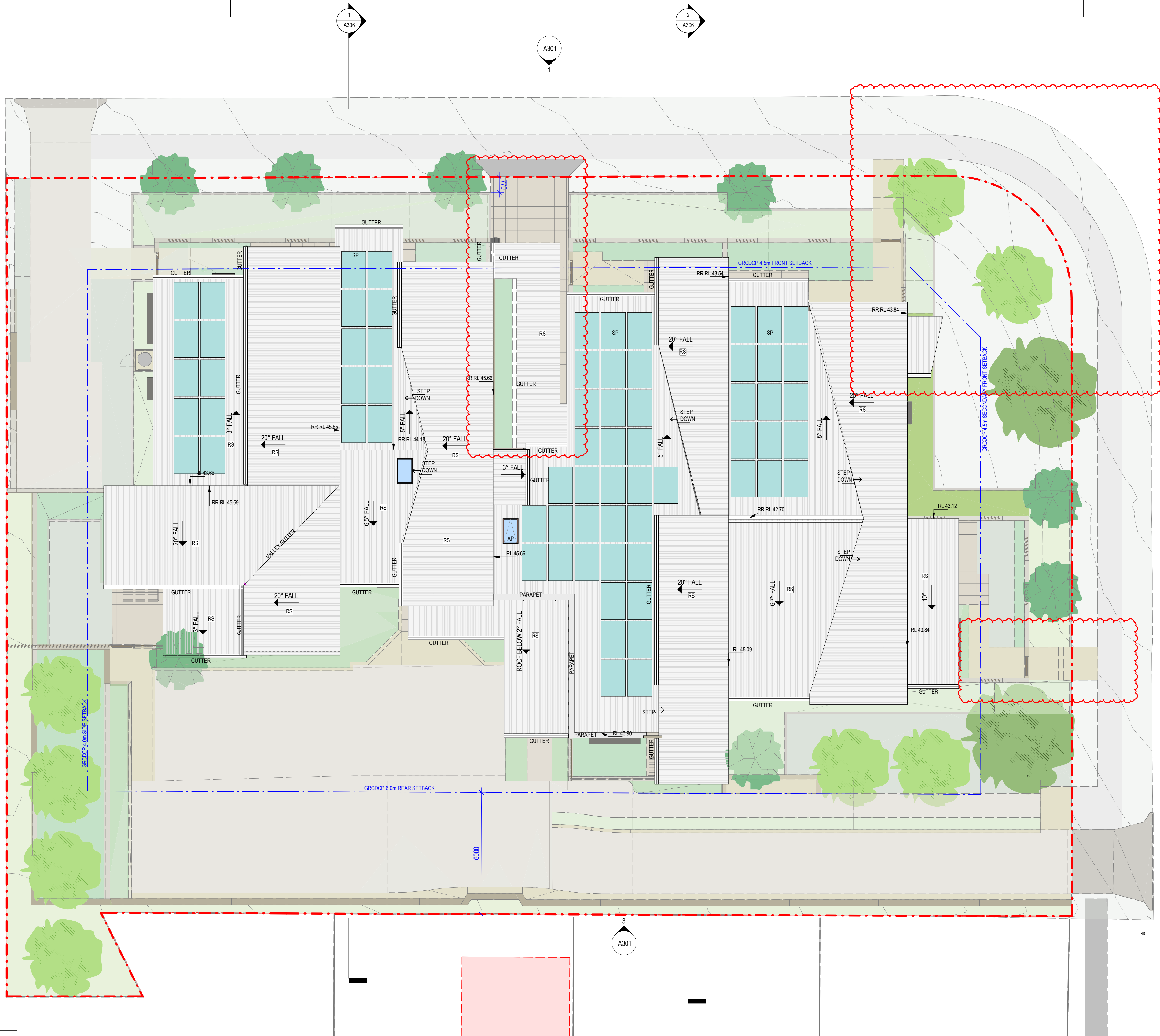
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e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
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reg. no. 7645
Robert McNamara
reg. no. 7271



Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
Sheet Title
GROUND FLOOR PLAN

Date: 20-10-23
Scale: As Noted
Drawn: Project No. 22009
Revision: 1
Checked: Drawing No. A201
Authorised: Approver



Rev	Date	AMENDMENTS
A	04-11-22	Prelim Issue to Consultants
B	09-12-22	Stage B
C	24-01-23	Prim to Access
D	02-02-23	Prelim to Consultants
E	10-02-23	Prelim Part 5 Update
F	06-04-23	Part C Issue
G	29-06-23	Part 5 LAHC Comments
H	10-10-23	Part 5 UPDATE
I	20-10-23	PART 5 UPDATE

Legend
EXISTING NATURAL GROUND LINE
BUILDING SETBACK/ HEIGHT LIMITS
1br UNITS
2br UNITS
AS1428.1 COMPLIANT DOOR CLEARANCE
STRIP DRAINS: FLUSH THRESHOLDS AT DOOR OPENINGS

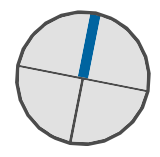
APS	ALUMINIUM BATTENS
CL	CLOTHES LINE
COL	COLUMN
DP	DOWNPIPE
FEN-B	FENCE - BOUNDARY (1800mm)
FEN-P	FENCE - PRIVATE OPEN SPACE (1500mm)
FEN-R	FENCE - RETAINING WALL (1200mm)
HWU	HOT WATER UNIT
LB	LETTER BOX
LV	FIXED ALUMINIUM VENTILATION LOUVRE
OSD	ON SITE DETENTION TANK

POS	PERSONAL OPEN SPACE
RBC	RIDGE BARGE CAPPING
RR	ROOF RIDGE
RWG	GUTTER
RWT	RAIN WATER TANK
SP	SOLAR PANELS
TR	THRESHOLD RAMP
TOK	TOP OF KERB
TOW	TOP OF WALL
WS	WHEEL STOP

*FENCE HEIGHT VARIES TO NATURAL GROUND LINE



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Robert McNamara
reg. no. 7271



Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title
ROOF PLAN

Date: 20-10-23
Scale: As Noted
Drawn: Project No. 22009
Author: Revision 1
Checked: Drawing No. A203
Checker: Approver

SECTION 1

BOUNDARY

35.800

TOW 36.000

TOW 36.260

TOW 36.600

TOW 36.860

TOW 37.120

TOW 37.380

TOW 37.640

TOW 37.900

TOW 38.160

TOW 38.420

TOW 38.680

TOW 38.940

TOW 39.200

TOW 39.460

TOW 39.720

TOW 39.980

TOW 40.240

TOW 40.500

TOW 40.760

TOW 41.020

TOW 41.280

TOW 41.540

TOW 41.800

TOW 42.060

TOW 42.320

TOW 42.580

TOW 42.840

TOW 43.100

TOW 43.360

TOW 43.620

TOW 43.880

TOW 44.140

TOW 44.400

TOW 44.660

TOW 44.920

TOW 45.180

TOW 45.440

TOW 45.700

TOW 45.960

TOW 46.220

TOW 46.480

TOW 46.740

TOW 47.000

TOW 47.260

TOW 47.520

TOW 47.780

TOW 48.040

TOW 48.300

TOW 48.560

TOW 48.820

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TOW 49.340

TOW 49.600

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TOW 54.020

TOW 54.280

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TOW 65.460

TOW 65.720

TOW 65.980

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TOW 66.500

TOW 66.760

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TOW 92.760

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TOW 98.740

TOW 99.000

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TOW 102.120

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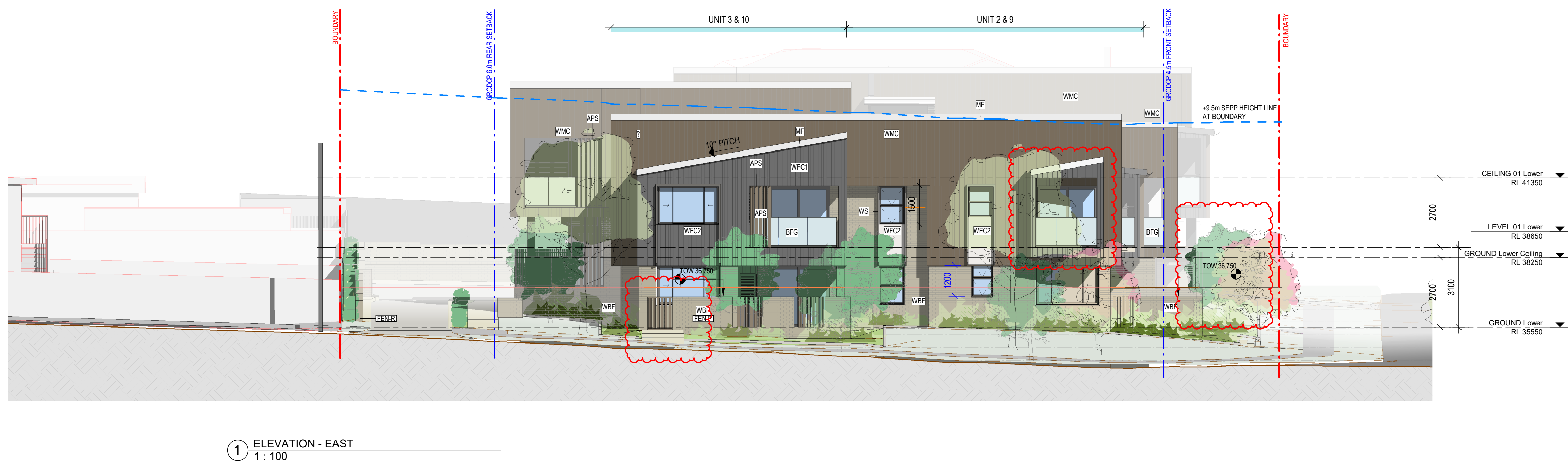
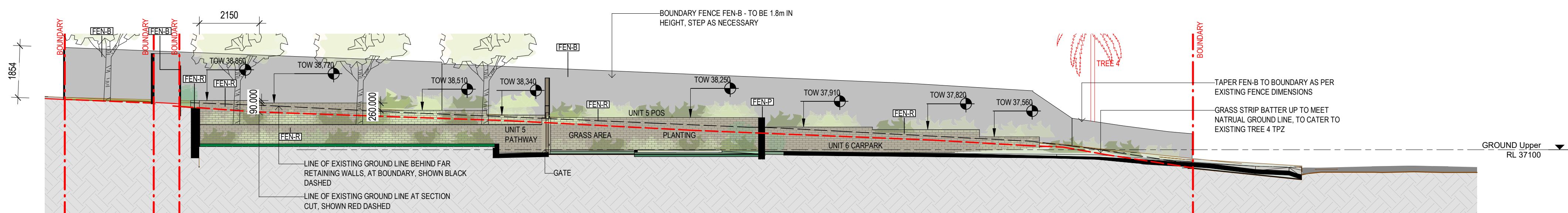
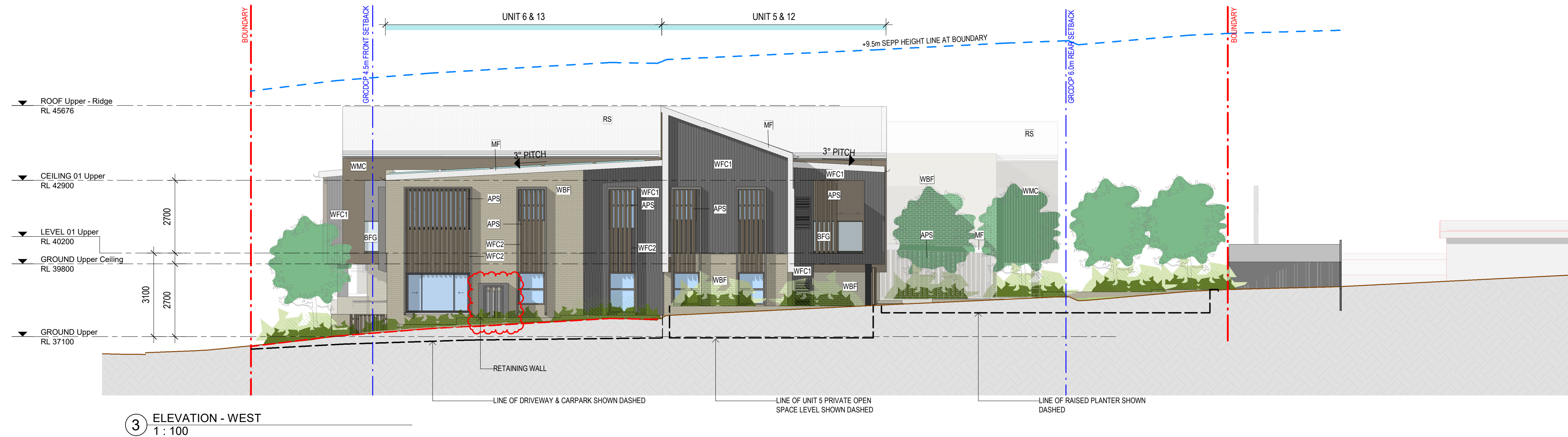
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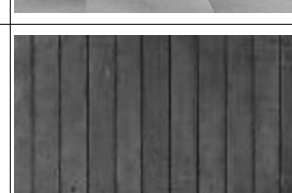
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TOW 107.580

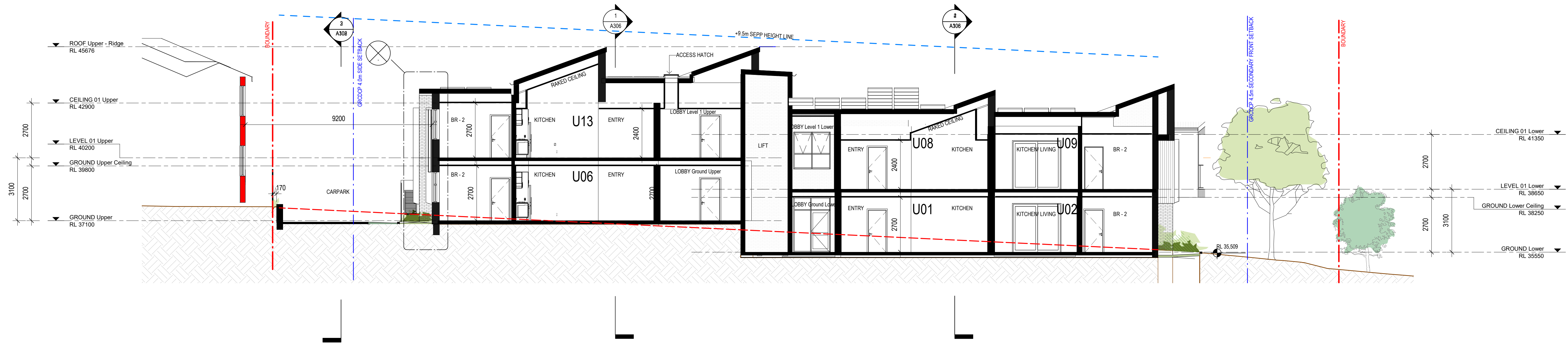
TOW 10

Rev	Dts	AMENDMENTS	Ckd	By	Appr	Desc	Issued	Rev	Issued			
B	09-12-23	Stage B				EXISTING NATURAL GROUND LINE	APS	ALUMINIUM BATTENS	OSD	ON SITE DETENTION TANK	WFC1	FIBRE CEMENT CLADDING
C	24-01-23	Prim to Access				BUILDING SETBACK/HEIGHT LIMITS	CL	CLOTHES LINE	OSD	PERSONAL OPEN SPACE	WFC2	FIBRE CEMENT INFILL
D	02-02-23	Consult to Consultants					COL	COLUMN	RBC	ROOF BARGE CAPPING	WFC2	METAL CLADDING
E	10-02-23	Prelim Part 5 Update					DO	DOWNPIPE	RBC	ROOF RIDGE	WFC2	WHEEL STOP
F	06-04-23	Part C Issue					FEN-B	FENCE - BOUNDARY	RWG	GUTTER		
G	16-05-23	Part C Issue					FEN-F	FENCE - PRIVATE OPEN SPACE	RWT	RANK WATER TANK		
H	29-06-23	Part 5 LAHC Comments					FEN-R	FENCE - RETAINING WALL	SP	SOLAR PANELS		
I	10-10-23	Part 5 UPDATE					HWU	HOT WATER UNIT	TOK	TOP OF KERB		
J	20-10-23	PART 5 UPDATE					LET	LETTER BOX	TOK	TOP OF WALL		
K	20-10-23	PART 5 UPDATE					MF	ALUMINIUM FEATURE BLADE	WBF	BRICK WALL		

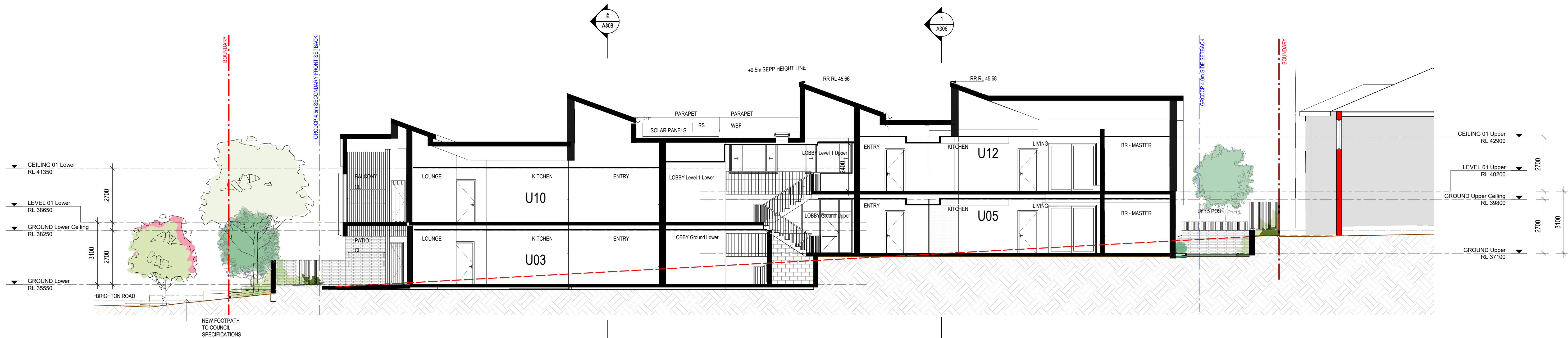


Material Exterior Schedule			
CODE	Material: Image	Material: Description	COLOUR
FEN-B		Boundary fence	Brown
FEN-R		Retaining wall - brick with soldier course capping	Light Tan
FEN P		Private Open Space Fence. Heights vary, refer to plans & Elevations	Brown
APS		Vertical angled timber look Aluminium blades	Brown
FEN-S		Privacy Fence	Brown
WBF		Brick, smooth faced	Light Tan
WFC2		Prefinished infill FC Panels within window set surrounds	Charcoal
ALU		Aluminium window and door frame system	Light Grey
APS		Timber look Aluminium Vertical Battens	Brown
WS		Metal sunhood	Charcoal
BFG		Glazed Balustrade	Translucent
WFC1		Prefinished FC Panels, vertical with woodgrain	White
WMC		Metal Cladding. Vertical profile	Brown
MF		Aluminium Feature Capping	Light Grey
RS		Metal deck roofing	Light Beige

Rev	Date	AMENDMENTS	Ckd	By	Check	Notes
A	09-12-22	Stage B	—	—	—	EXISTING NATURAL GROUND LINE
B	24-01-23	Print to Access	—	—	—	BUILDING SETBACK/ HEIGHT LIMITS
C	02-02-23	Prelim to Consultants	—	—	—	
D	10-02-23	Prelim Part 5 Update	—	—	—	
E	04-04-23	Part C Issue	—	—	—	
F	16-05-23	Part C Issue	—	—	—	
G	29-06-23	Part 5 LAHC Comments	—	—	—	
H	10-10-23	Part 5 UPDATE	—	—	—	
J	20-10-23	PART 5 UPDATE	—	—	—	



2 SECTION - 2-2
1 : 100



1 SECTION - 1-1
1 : 100

Rev	Date	AMENDMENTS
A	04-11-22	Prelim Issue to Consultants
B	09-12-22	Stage B
C	24-01-23	Prim to Access
D	10-02-23	Prelim Part 5 Update
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G	20-10-23	PART 5 UPDATE

Legend	Legend	Legend	Legend
EXISTING NATURAL GROUND LINE	ALUMINIUM BATTENS	OSD	ON SITE DETENTION TANK
BUILDING SETBACK/ HEIGHT LIMITS	CLOTHES LINE	POS	PERSONAL OPEN SPACE
	COLUMN	RBC	ROOF BARGE CAPPING
	DOWNSPIPE	RR	ROOF RIDGE
	FENCE - BOUNDARY	RWG	GUTTER
	FENCE - PRIVATE OPEN SPACE	RWT	RAIN WATER TANK
	FENCE - RETAINING WALL	SP	SOLAR PANELS
	HOT WATER UNIT	TOK	TOP OF KERB
	LETTER BOX	TOW	TOP OF WALL
	ALUMINIUM FEATURE BLADE	WBF	BRICK WALL
		WFC1	FIBRE CEMENT CLADDING
		WFC2	FIBRE CEMENT INFILL
		WMC	METAL CLADDING
		WS	WHEEL STOP



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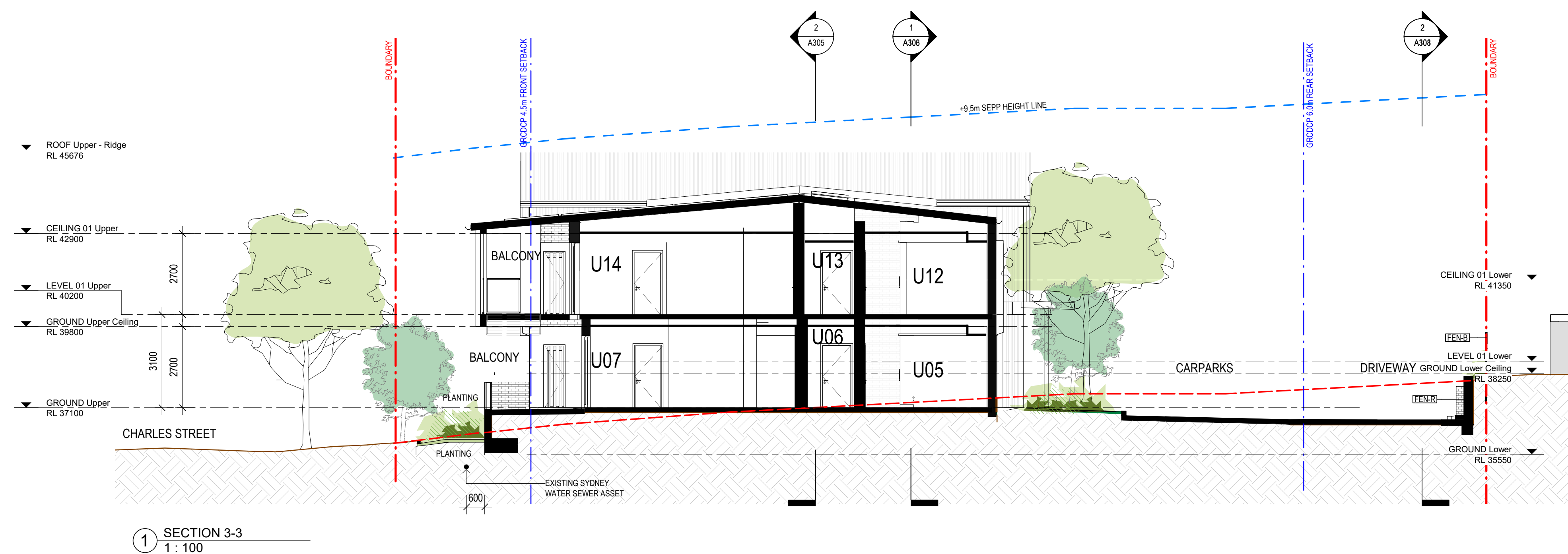
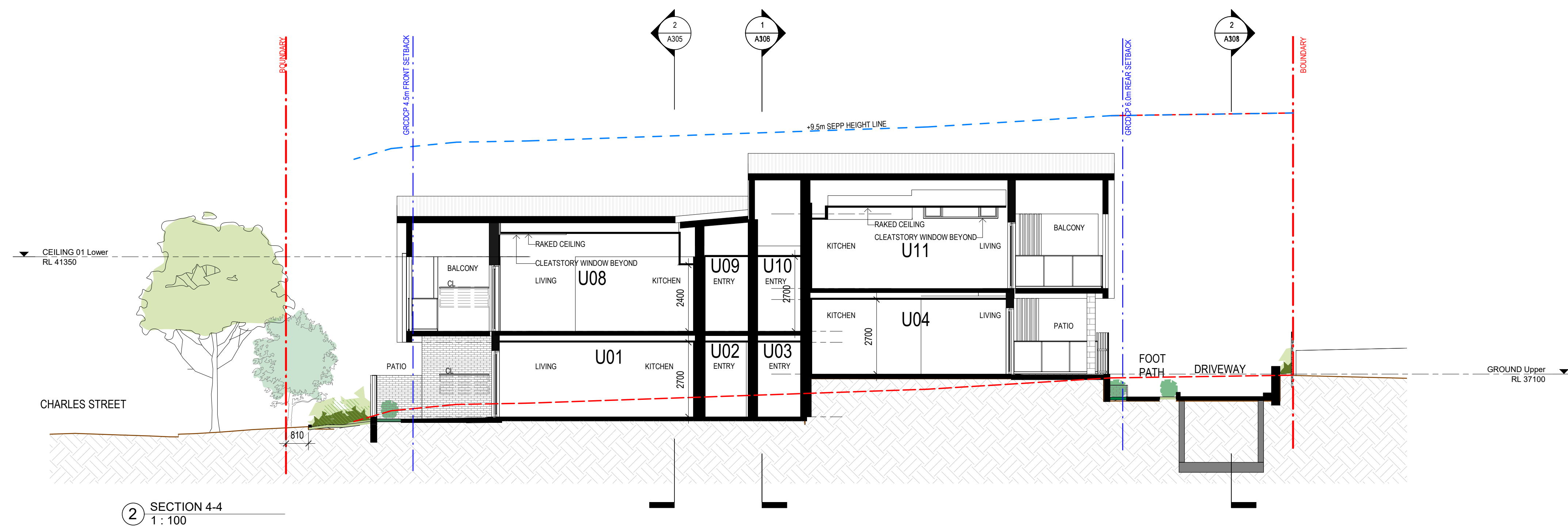
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Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
Street Title
SECTIONS - Long


Date: 20-10-23
Scale: As Noted
Drawn: Project No. 22009
Author: Revision 0
Checked: Drawing No. A305
Checker: Approver

[illegible]



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Robert McManus
reg. no. 7271



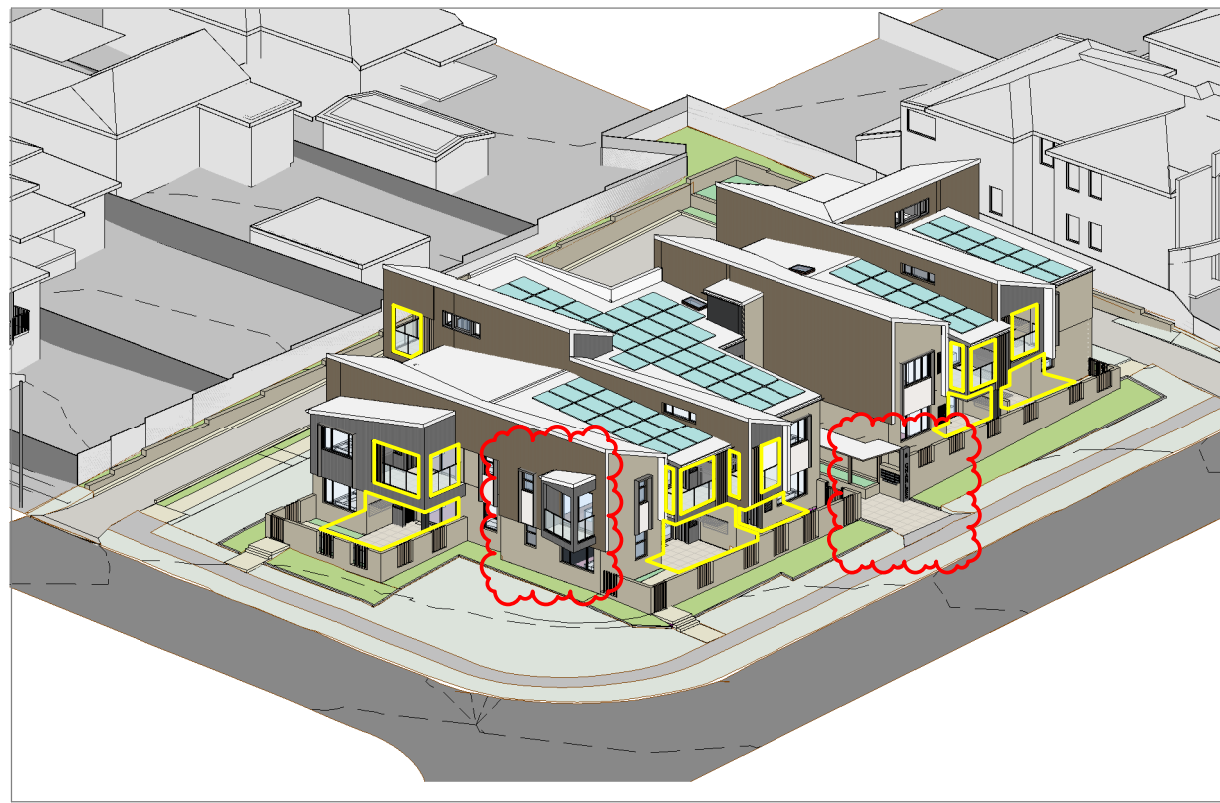
Project Name
BGZ3K
Seveno's Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title
SECTIONS - Short

Date:
20-10-23
Drawn:
Author
Checked
Checker
Authorised
Approver

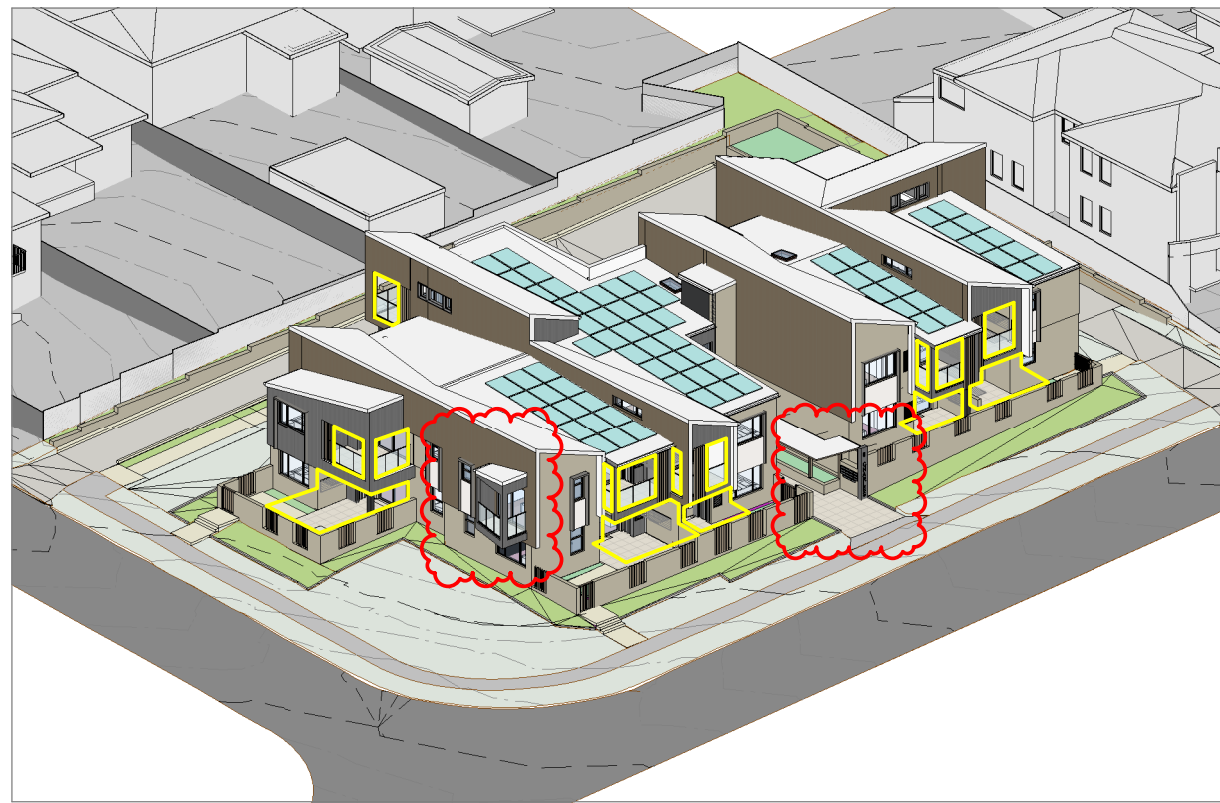
Scale
As Noted
Project No.
22009
Revision
G
Drawing No.
A306



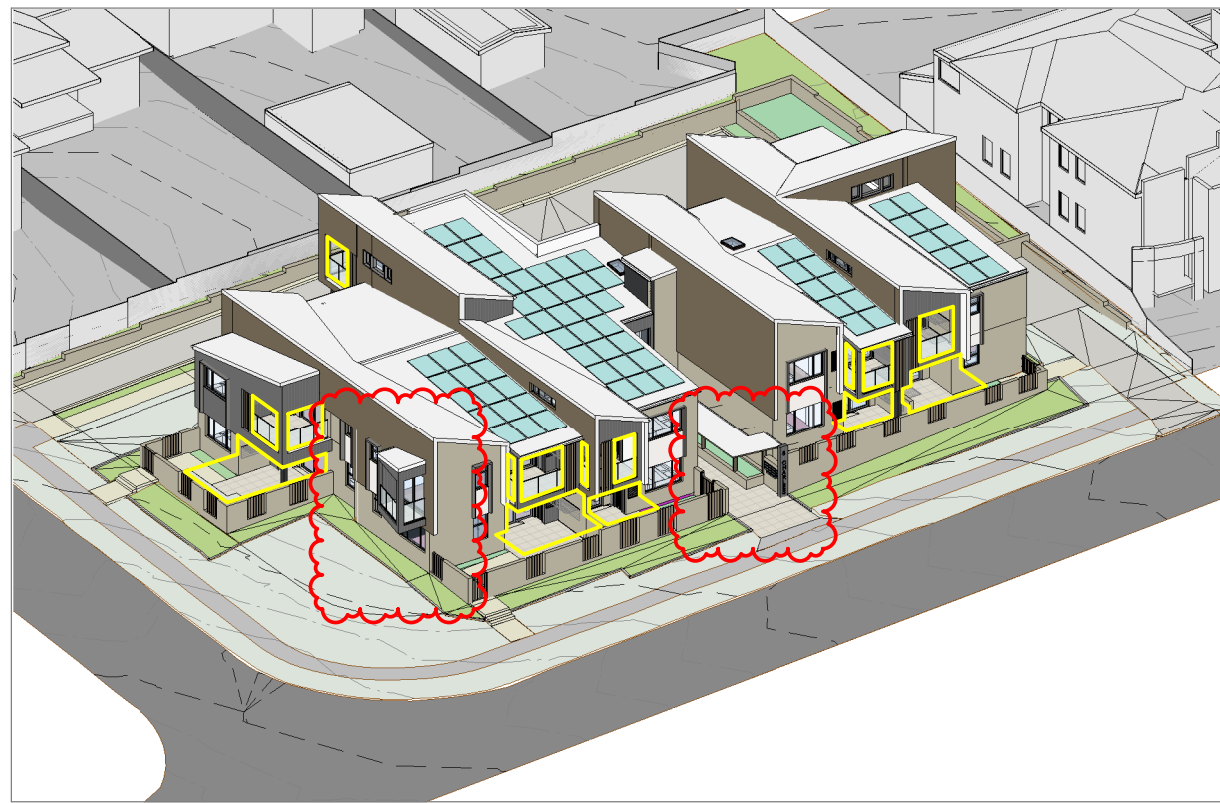
1 3D orthographic view June 9am



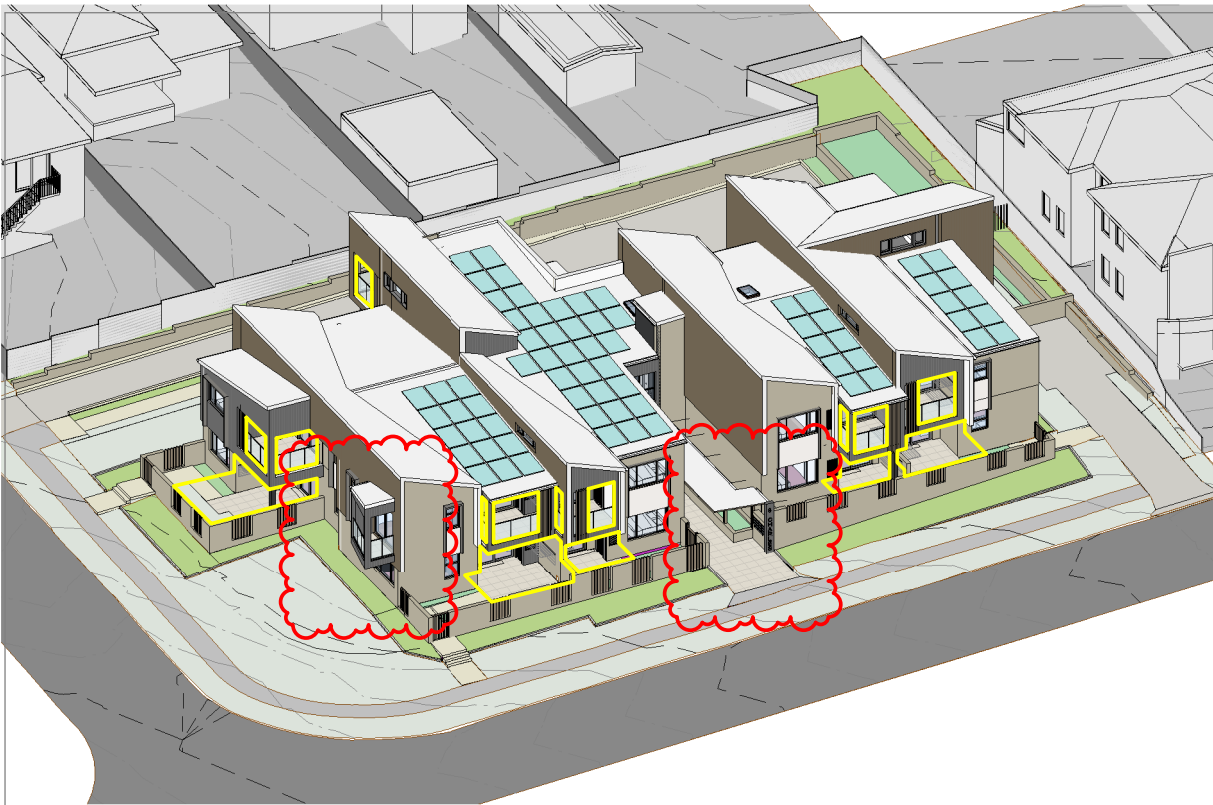
2 3D orthographic view June 9:30am



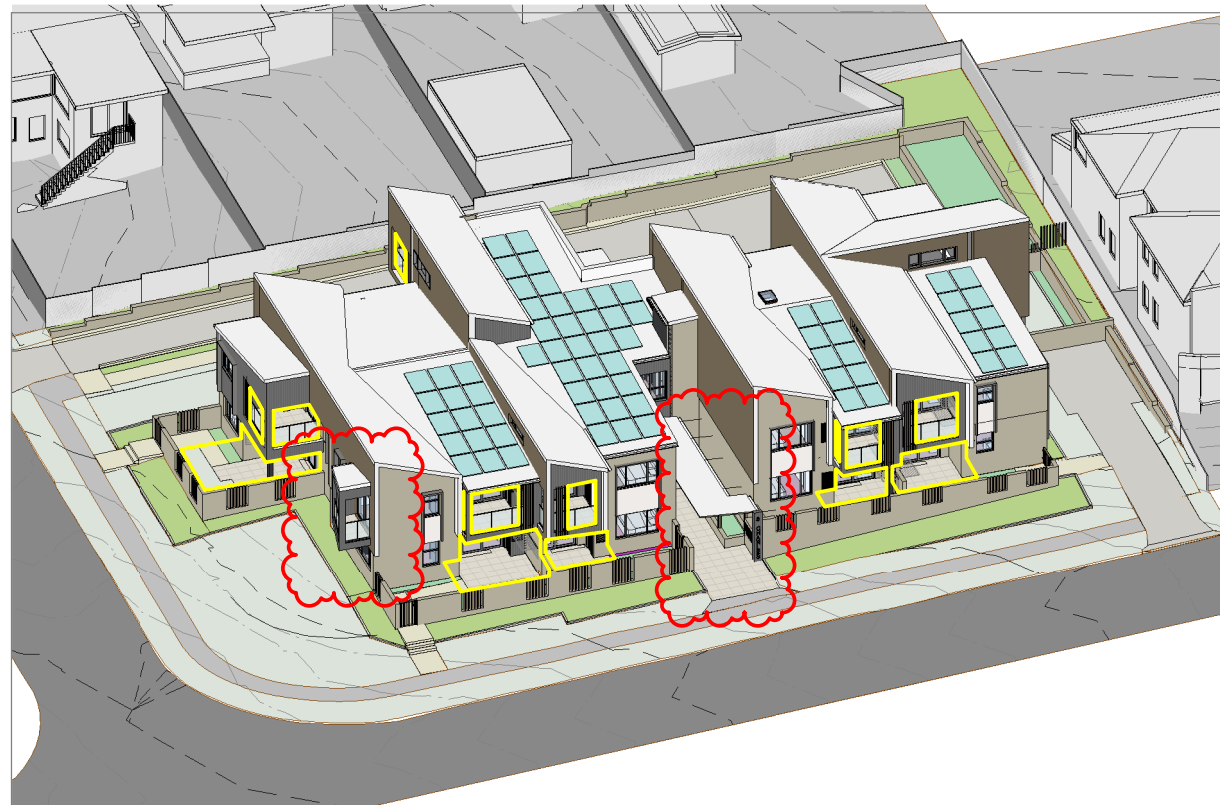
3 3D orthographic view June 10am



4 3D orthographic view June 10:30am



5 3D orthographic view June 11am



6 3D orthographic view June 11:30am



7 3D orthographic view June 12pm



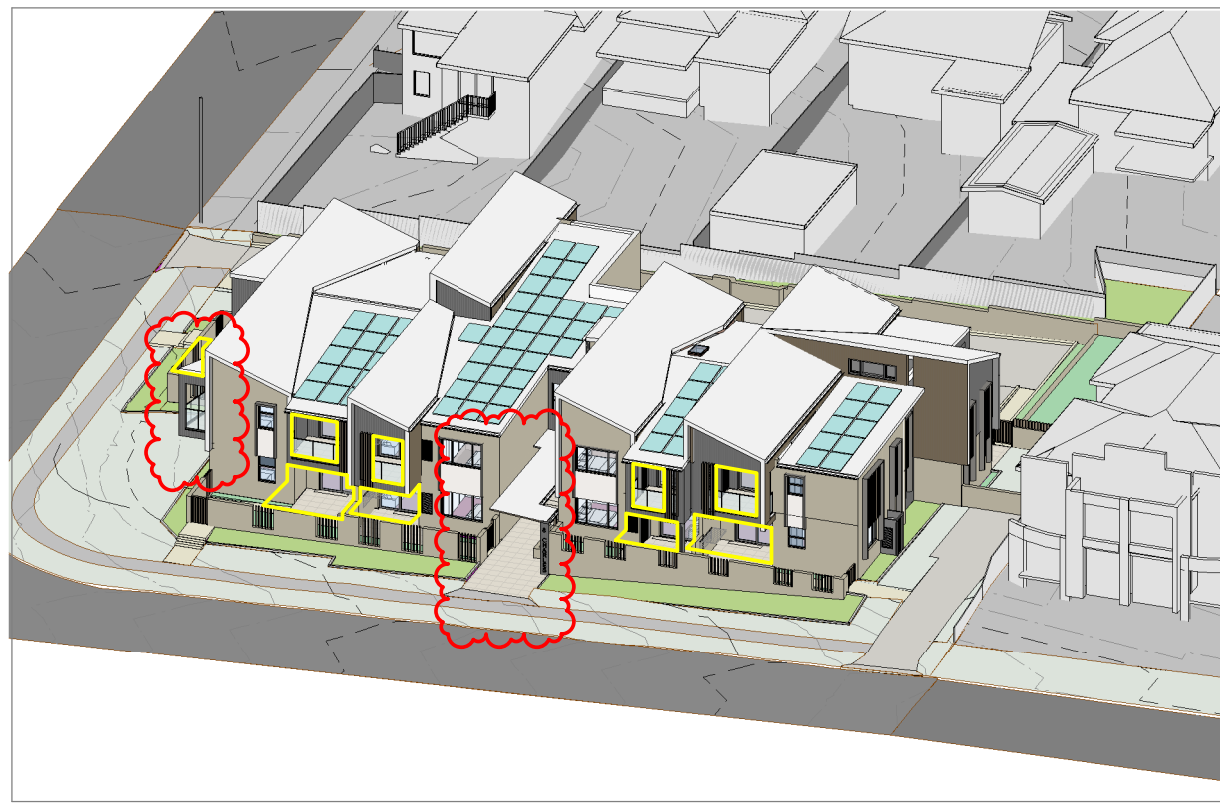
8 3D orthographic view June 12:30pm



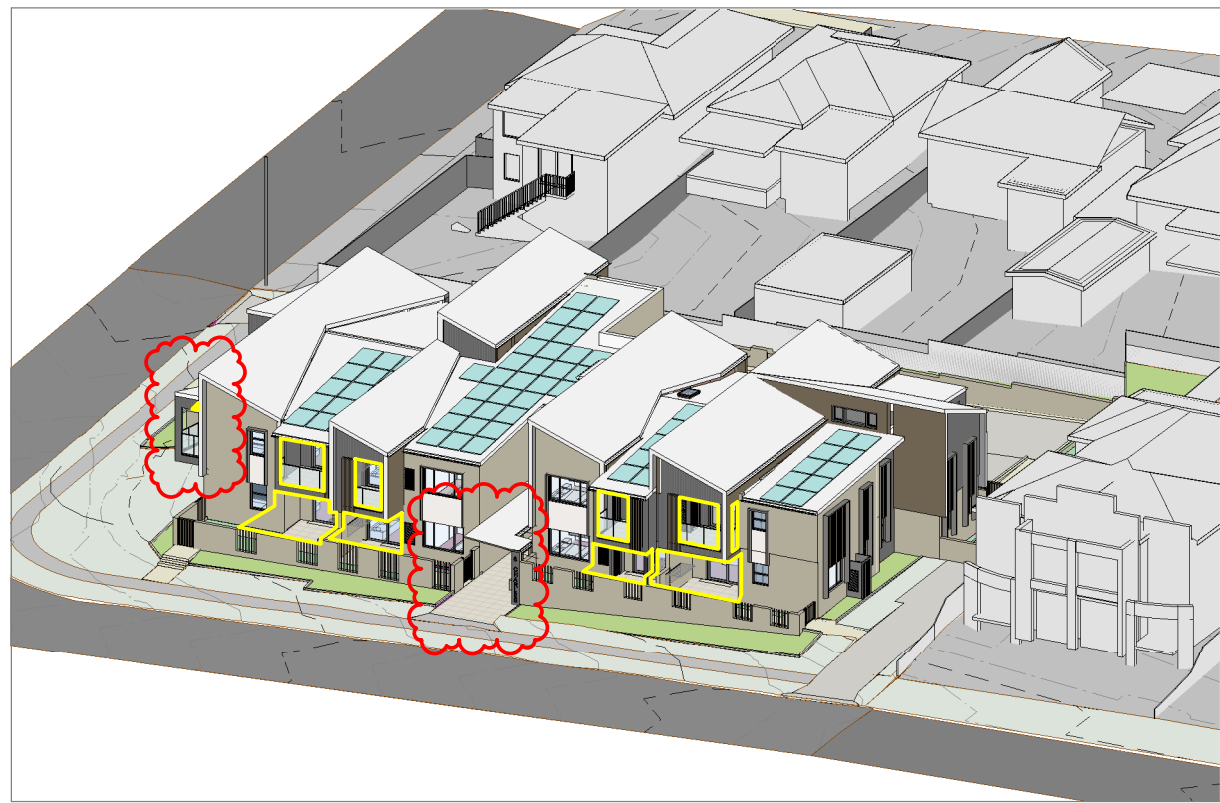
9 3D orthographic view June 1pm



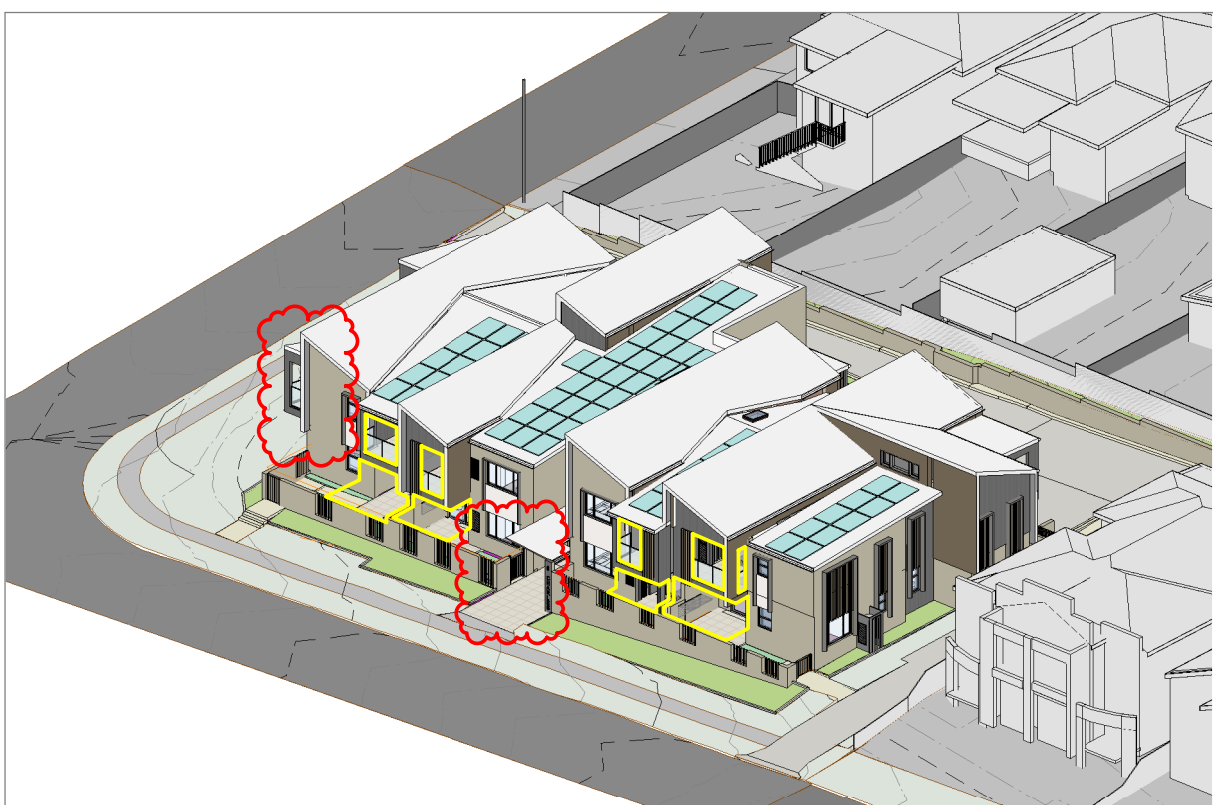
10 3D orthographic view June 1:30pm



11 3D orthographic view June 2pm



12 3D orthographic view June 2:30pm



13 3D orthographic view June 3pm

View From Sun Study Table
1:1

	9am	9:30am	10am	10:30am	11am	11:30am	12pm	12:30pm	1pm	1:30pm	2pm	2:30pm	3pm
Unit 1													
Unit 2		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 3	✓	✓	✓	✓	✓	✓							
Unit 4													
Unit 5													
Unit 6					✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 7			✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 8		✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓
Unit 9			✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 10	✓	✓	✓	✓	✓	✓	✓						
Unit 11													
Unit 12													
Unit 13					✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 14			✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

Sunlight Access to Living rooms/ POSs
in accordance with LAHC Deemed to Satisfy Compliance Part B4.2a



COMPLIANT



NON - COMPLIANT

70% ACHIEVED = COMPLIANCE ACHIEVED

Rev	Date	AMENDMENTS	Ckd
A	10-02-23	Prelim Part 5 Update	
B	06-04-23	Part C Issue	
C	29-06-23	Part 5 LAHC Comments	
D	20-10-23	PART 5 UPDATE	



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Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
VIEW FROM THE SUN STUDY

Date: 20-10-23
Scale: As Noted
Drawn: Project No. 22009
Author: Revision D
Checked: Authorised
Checker: Approver
Drawing No. A800



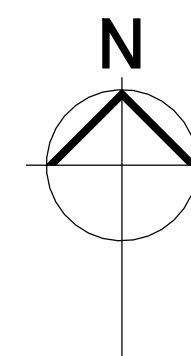
① TrueNorth Winter 9am Shadow Diagram
1 : 200



② 19 Charles St Elevation- Winter 9am

Rev	Date	AMENDEMENTS	Ckd
A	10-02-23	Prelim Part 5 Update	
B	06-04-23	Part C Issue	
C	20-10-23	PART 5 UPDATE	

- PROPOSED BUILDING SHADOWS
- PROPOSED BUILDING SHADOWS
- EXISTING BUILDING TO BE DEMOLISHED



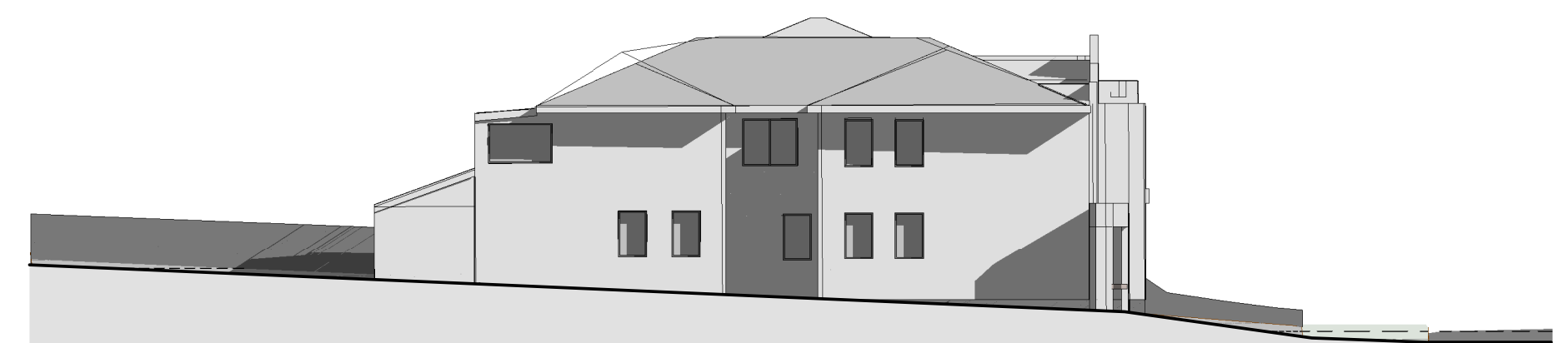
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reg. no. 7271

Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP36818, Lot 10 in DP1080361)
Sheet Title
SHADOW DIAGRAMS - WINTER 9AM

Date:
20-10-23
Scale
As Noted
Drawn:
Author
Checked
Checker
Authorised
Approver
Project No.
22009
Revision
C
Drawing No.
A901



② 19 Charles St Elevation- Winter 12pm

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reg. no. 7271

live

inter

work

edit

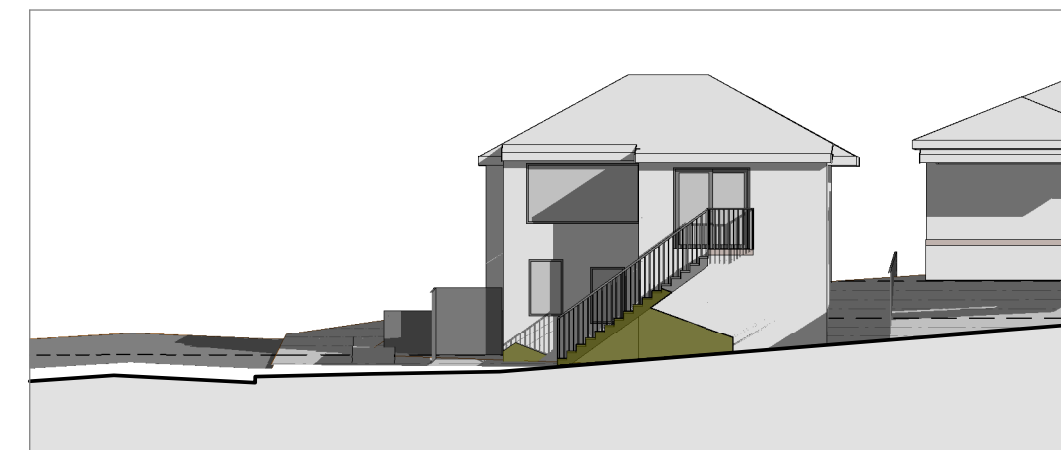
Project Name
BG23K
Seniors Living Units
7-9 Brighton Road PEAKHURST
Charles Street RIVERWOOD
(Lots 14, 8 & 10 in DP908018, Lot 10 in DP1080361)
Sheet Title
SHADOW DIAGRAMS - WINTER
12PM

Date:
20-10-23
Drawn:
Author
Checked
Checker
Authorised
Approver

Scale
As Noted
Project No.
22009
Revision
C
Drawing No.
A902



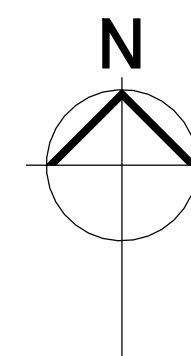
① TrueNorth Winter 3pm Shadow Diagram
1: 200



④ 34 Bungalow Road Elevation - Winter 3pm

Rev	Date	AMENDEMENTS	Ckd
A	10-02-23	Prelim Part 5 Update	
B	06-04-23	Part C Issue	
C	20-10-23	PART 5 UPDATE	

- PROPOSED BUILDING SHADOWS
- PROPOSED BUILDING SHADOWS
- EXISTING BUILDING TO BE DEMOLISHED



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Project Name
BGZ3K
Seniors Living Units
7-9 Brighton Road PEAKHURST
21 Charles Street RIVERWOOD
(Lots 14 & 15 in DP35818, Lot 10 in DP1080361)
Sheet Title
SHADOW DIAGRAMS - WINTER
3pm

Date:
20-10-23
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